



WATCHTOWER HOME INSPECTIONS

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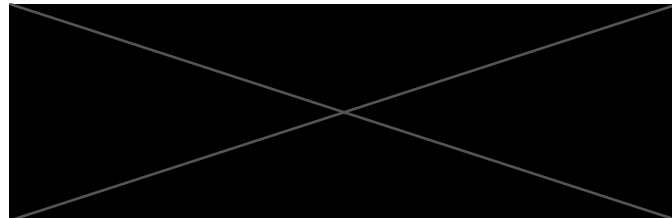
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<https://watchtowerinspections.ca/>

WATCHTOWER
HOME INSPECTIONS



RESIDENTIAL REPORT



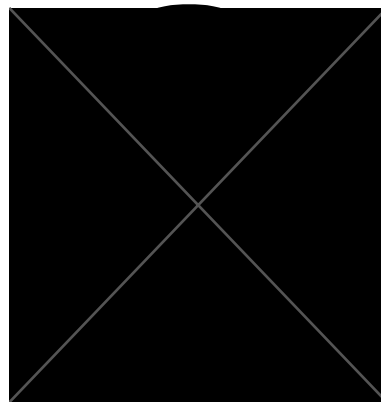
Inspector

Mitchell Cunningham

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7124 Willis Point Road, BC

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1: INSPECTION DETAILS

Information

In Attendance

Home Owner

Occupancy

Furnished, Occupied

Type of Building

Multi-Family

Weather Conditions

Recent Rain, Clear

Structure Orientation

For the sake of this inspection the front of the home will be considered as the portion pictured in the cover photo. References to the left or right of the home should be construed as standing in the front yard, viewing the front of the home.

Important Information

This report divides deficiencies into three categories; Significant/Major Defects (**in red**, also listed in the summary), Marginal Defects (**in orange**), and Minor Defects/Maintenance Items/FYI (**colored in blue**). Safety Hazards or Concerns will be listed in the Red or Orange categories depending on their perceived danger, but should always be addressed ASAP.

Significant Defect

Items or components that were not functional, represent a serious safety concern, and/or may require a major expense to correct. Items categorized in this manner require further evaluation and repairs or replacement as needed by a Qualified Contractor prior to the end of your contingency period.

Marginal Defect

Items or components that were found to include a safety hazard, or a functional or installation related deficiency. These items may have been functional at the time of inspection, but this functionality may be impaired, not ideal, and/or the defect may lead to further problems (most defects will fall into this categorization). Repairs or replacement is recommended to items categorized in this manner for optimal performance and/or to avoid future problems or adverse conditions that may occur due to the defect, prior to the end of your contingency period. Items categorized in this manner typically require repairs from a Handyman or Qualified Contractor and are not considered routine maintenance or DIY repairs.

Minor Defect, Maintenance Item, or FYI Item

This categorization will include items or components that may need minor repairs which may improve their functionality, and/or found to be in need of recurring or basic general maintenance. This categorization will also include FYI items that could include observations, important information, limitations, recommended upgrades to items, areas, or components, as well as items that were nearing, at, or past the end of their typical service life, but were in the opinion of the inspector, still functional at the time of inspection. Major repairs or replacement should be anticipated, and planned for, on any items that are designated as being past, or at the end of their typical life. These repairs or replacement costs can sometimes represent a major expense; i.e. HVAC systems, Water Heaters, Plumbing pipes, etc.

These categorizations are in my professional judgement and based on what I observed at the time of inspection. This categorization should not be construed as to mean that items designated as "Minor defects" or "Marginal Defects" do not need repairs or replacement. The recommendations in each comment is more important than its categorization. Due to your perception, opinions, or personal experience you may feel defects belong in a different category, and you should feel free to consider the importance you believe they hold during your purchasing decision. Once again, it's the "Recommendations" in the text of the comment pertaining to each defect that is paramount, not its categorical placement.



Limitations

General

GENERAL LIMITATION DUE TO OCCUPANCY

The home was inspected while still occupied, and it cannot be guaranteed that conditions will not change once the occupants vacate. Additionally, areas covered by furniture, belongings, or storage could not be fully inspected, and hidden issues may be present in those areas. It is recommended to perform a follow-up inspection once the home is vacant to ensure a more thorough evaluation of all spaces.

2: EXTERIOR

Information

Inspection Method*

Visual, From Grade

Siding Material*

Stone Veneer, Fiber Cement,
Wood

Outdoor Structures

Balcony, Covered Porch, Deck

Soffit Finishes

Perforated, Aluminium

Driveway Material

Pavers, Aggregate Exposed

Walkway Leading to Dwelling Entrance

Concrete, Exposed Aggregate

Fascia Materials/ Finishes

Paint/ Stain, Wood

Garage Car Door

Fiberglass

Surface Grading

Generally Flat, Slopes toward
home in front area

Roof Water Discharge

Below Grade, Above Grade

**Foundation Wall Damp Proofing/
Membrane**

None Visible

**Above Grade Risers or Stand
pipes Materials**

PVC

**Lot Surface, Stairwell or Driveway
drains**

Present

Limitations

General / Limitations

FOUNDATION DRAIN SYSTEM BELOW GRADE

As the foundation drain system is below grade and not visible for inspection, we cannot confirm that a foundation drain system is present, continuous, has appropriate slope, where it drains to, and IF present is installed correctly. If certification of the below grade system is desired, further review is referred to the service of a qualified drainage contractor. We recommend that you Inquire with the seller for any history of below grade moisture intrusion prior to subject removal.

General / Limitations

ASK SELLER HISTORY PERTAINING TO PERIODS OF INTENSE RAIN

Recommend asking the seller about water problems including but not limited to water puddles in the yard, gutter or downspout problems, water penetration into the lowest level of the structure, and drainage systems. Recommend closely monitoring and inspecting the exterior during a heavy rainstorm to observe the way the surface water is managed.

UNABLE TO DETERMINE SOIL CHARACTERISTICS AROUND HOME

Since the inspection is purely visual, there is no way to determine the characteristics of the soil all the way down to the footings. If the ground around the building is extremely porous (sand or gravel, for example), water will drain through sand or gravel very quickly rather than run across the surface away from the structure.

OUTBUILDINGS, AND WOOD SHED NOT PART OF INSPECTION

Outbuildings, such as sheds or the woodshed, were not part of this inspection and were not assessed during the examination of the main property. Therefore, their condition and any potential issues remain unexamined and unreported. If you have specific concerns or interest in these structures, it is advisable to arrange a separate inspection or assessment of these outbuildings by a qualified professional.

PATIO FURNITURE OBSTRUCTING FULL DECK INSPECTION

The presence of patio furniture on the deck limited the ability to fully inspect the deck surface and structure. It is recommended to have the deck inspected once the furniture is moved to ensure there are no hidden issues or damage.

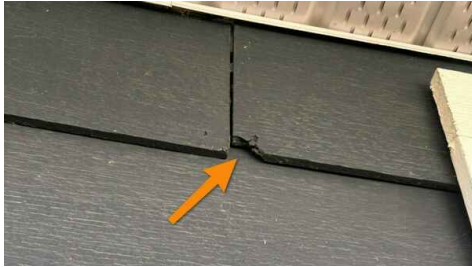
SURFACE GRADING LIMITATIONS

The grading and lot drainage performance are limited to the conditions existing at the time of the inspection only. It cannot be guaranteed of this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls or under slabs is limited to the visible conditions at the time of inspection and evidence of past problems. It is recommended to consult with the sellers as to any previous moisture intrusion into the structure and reading over the Sellers Disclosure, which should list any such issues.

Deficiencies

MINOR SIDING CRACKS

A few areas of the fibre cement siding have loose fasteners and a few areas that are cracked, and there is also a crack in the wood siding on the upstairs room dormer, with one section appearing to be missing material. These are minor issues, but regular maintenance is recommended to ensure the siding continues to perform as it should, protecting the home from weather exposure. Timely repairs upon possession will help maintain the integrity and appearance of the exterior.



Chipped Siding



Cracked piece



Loose fastener



Cracked siding

2.1.2 Siding, Flashing & Trim

SIDING TOO CLOSE TO GRADE IN A FEW AREAS

In a few areas around the property, the siding is too close to the grade, possibly due to the slab being poured after or the siding installed too low. While not an immediate concern, it's important to monitor these areas to ensure water does not pool against the foundation or siding. If left unchecked, the siding can absorb moisture like a sponge, potentially leading to long-term issues in the wall assembly. Proper water management around the exterior will help prevent future problems.

— Marginal Defect



Siding close to ground

2.1.3 Siding, Flashing & Trim



Maintenance Item/ Aesthetic

MINOR TRIM ROT NOTED ON MASTER SUITE BALCONY

A small amount of trim rot was observed where the master suite balcony extends onto the side of the roof surface. This could be a minor drainage issue where water is being diverted towards the dormer. It is recommended to repair or replace the affected trim upon possession to prevent further deterioration. Regular monitoring of this area is advised to ensure the issue does not worsen.



Trim Decay/ Moss

2.1.4 Siding, Flashing & Trim



Maintenance Item/ Aesthetic

MINOR DISCOLOURATION ON FRONT WOOD SHINGLING

The wood shingling on the front of the home, shows some discolouration, potentially due to sun exposure or another factor. This is likely cosmetic in nature and does not affect the performance of the siding. If you wish to restore the aesthetic, it is recommended to consult a painter for refinishing. The siding itself remains functional, and the issue is purely aesthetic, with no immediate concerns.



Shingle Discolouration

2.2.1 Decks, Balconies, Porches & Steps

 Significant Deficiency

FALL HAZARD AT BASEMENT SUITE ENTRY/ PORCH

The entry to the basement suite includes a set of stairs, but the surrounding area features a 4-foot drop from a concrete retaining wall. While this is not designed as an entry point, it could pose a safety risk, particularly for children who may be playing near the area. It is recommended to be mindful of this potential hazard and consider adding protective barriers or railings to improve safety. This issue should be addressed upon possession, especially if young children will be present.



Potential Fall Hazard

2.2.2 Decks, Balconies, Porches & Steps

 Maintenance Item/ Aesthetic

DECK GUARD RAIL HARDWARE EXPOSURE

The hardware securing the guard rail on the deck surface is facing upward, which may allow water to enter the system and cause long-term deterioration. To increase the longevity of the hardware and prevent potential water intrusion, it is recommended to apply waterproofing, caulk, or mastic on top of the exposed hardware. This simple preventative measure should be addressed upon possession to help maintain the deck's structural integrity.



Add Mastic to Hardware

2.6.1 Grading and Lot Surfaces

 Marginal Defect

GENERAL GRADING OF PROPERTY

Overall, the grading of the property is adequate, but there is an area in the front yard where the grade slopes slightly towards the house, which could potentially direct water toward the structure. It's recommended to inquire with the sellers about any issues they may have experienced during heavy rainfall or periods of intense weather. Additionally, it's important to monitor this area during heavy rain to ensure water is effectively diverted away from the foundation, helping to prevent any potential drainage or moisture-related issues.



Negative Grade

BASEMENT ENTRY DRAIN FOR DOWNSTAIRS SUITE

The basement entry to the downstairs suite features what appears to be an effective drain. However, the drainpipe should have a 90° elbow facing downward to help prevent debris from entering the perimeter drainage system. It is recommended to add this modification upon possession to maintain the proper function of the drainage system and reduce the risk of blockages.



Add 90 deg Elbow (face down) to Drain pipe

3: ROOF

Information

Covering Material*

Architectural Laminate Shingle

Inspection Method*

Ground, Binoculars, From Eaves

Gutter Material

Aluminum

Flashing Material

Aluminum

Roof Comment

Roof in Early to Mid-Life Stage

The roof appears to be in the early to mid stages of its lifespan. Regular maintenance, including periodic inspections and timely repairs, will be essential to maximize its longevity. Routine tasks such as removing debris, clearing gutters, and addressing any minor wear will help ensure the roof continues to protect the home effectively for its expected duration.

Limitations

General / Limitations

GENERAL QUALITY AT TIME OF INSPECTION

The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior ceilings, were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.

Please refer to the seller's disclosure in reference to the roof system, age, condition, prior problems, etc. Only the property owner would have intimate, accurate knowledge of the roof system. The inspector can only estimate the age based primarily on general appearance. This report is an opinion of the general quality of the roofing materials at the time of inspection. The inspector cannot, and does not, offer a guarantee as to whether the roof has leaked in the past, leaks now, or may be subject to future leakage.

General / Limitations

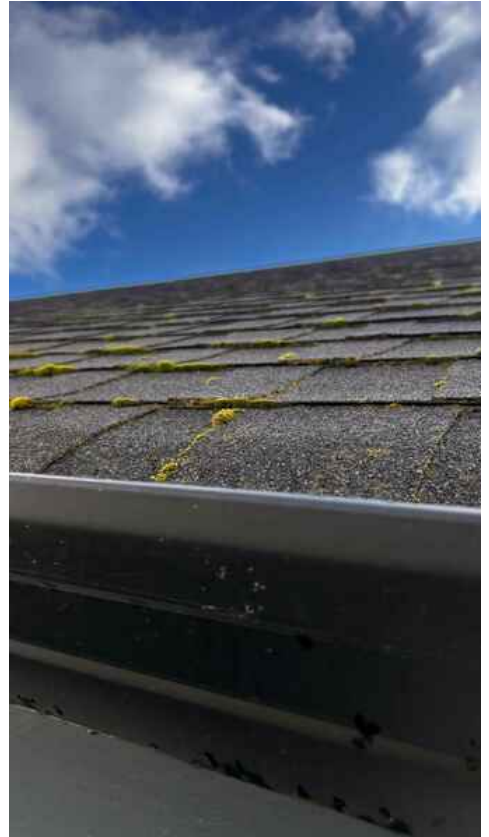
PORTIONS OF ROOF NOT ACCESSED

The roof surface was viewed where possible, but not all areas could be physically walked due to the height and/or pitch of the roof. The areas not able to be walked were examined from the ground, binoculars or a ladder. This should be considered a limited inspection of the roof due to all areas not being able to be walked. If a more thorough inspection is needed it is recommended to consult a roofing contractor.

Deficiencies

LIGHT MOSS DETECTED ON ROOF SURFACE

A light amount of moss was detected on the roof surface and overhangs. While not a significant concern at this stage, it's advisable to have it removed to prevent any long-term moisture retention, which could eventually lead to shingle deterioration. Regular maintenance will help keep the roof in good condition and avoid future issues.



4: STRUCTURE & FOUNDATION

Information

Foundation Material*

Poured Concrete

Exterior Wall Construction*

Wood Stud

Floor Construction*

Inaccessible

Roof and Ceiling framing*

Trusses, Ceiling Joist

Inspection Method*

Attic Access, From hatch

Configuration

Basement

Method used to Inspect

Crawlspace

N/A

Basement/Crawlspace Floor

Finished

Slab or Basement Drain

Present, In Utility Room

Limitations

General / Limitations

INSPECTION LIMITED/ PREVENTED BY

Ceiling Coverings, Wall Coverings, Floor Coverings, Storage, Insulation

General / Limitations

ATTIC/ ROOF SPACE

Viewed from Hatch

General / Limitations

PERCENT OF FOUNDATION NOT VISIBLE

95%

General / Limitations

ATTIC NOT FULLY INSPECTED

During the inspection, it was noted that the entire attic area could not be accessed, and as a result, concealed damage is possible. It is important to note that concealed damage may not be visible or detectable during a visual inspection, and may only become apparent after further investigation or at a later time. It is recommended to consult with a qualified contractor to further evaluate the attic area and determine the appropriate course of action. Regular inspection and maintenance of the attic, including proper ventilation and insulation, can help to prevent potential issues and ensure the ongoing safety and effectiveness of the home.

Deficiencies

4.1.1 Foundation

 Maintenance Item/ Aesthetic

MINOR FOUNDATION CRACK ON LEFT SIDE OF HOME

A very minor hairline crack was observed on the left side of the home's foundation, likely a typical shrinkage crack. This type of crack is common and not a cause for concern at this time. It is recommended to monitor the crack quarterly for any signs of movement or widening, and consult a professional if changes are observed.



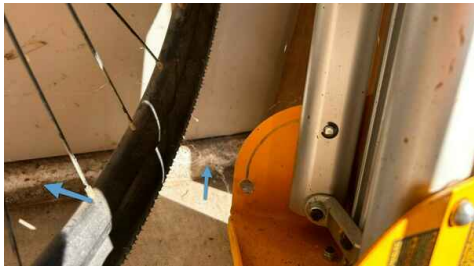
Hairline Crack

4.1.2 Foundation

 Maintenance Item/ Aesthetic

EFFLORESCENCE NOTED ON GARAGE FOUNDATION EXTERIOR

Efflorescence was observed at the curb of the garage foundation, most notably adjacent to the main entry of the house. This white, chalky residue is typically left behind by water moving through the concrete at some point, though it doesn't necessarily indicate active moisture issues. It could be residual from construction or past water movement. While it's not inherently a cause for concern, it's important to be aware of it and monitor the area to ensure proper drainage and water management around the foundation.



Efflorescence Noted On Foundation Curb



Efflorescence

MINOR SHRINKAGE CRACKS IN GARAGE AND UTILITY ROOM

Minor shrinkage cracks were observed in the garage concrete slab, which is common and not indicative of structural concerns. Additionally, minor cracks were noted in the utility room near the linoleum, close to the furnace/heat pump area. While these cracks are typical and not currently a concern, regular monitoring is recommended to ensure they do not worsen over time. No immediate action is necessary.



Shrinkage Crack in basement slab



Garage Slab Shrinkage Crack



Garage Slab Shrinkage Crack

5: PLUMBING

Information

Supply Piping Material

Polyethylene, Undetermined due to Vapour barrier

Drain Waste and Vent Piping Material

ABS

Distribution Piping Material

Pex, Copper at hot water tank

Water Heater Fuel Source/Type

Tankless, Natural Gas

Age of water heater(s)

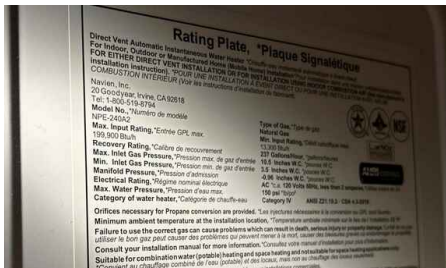
4 years

Main Gas Shut-off Location

Gas Meter, Right side of home

Location of Hot water tank

Kitchen Pantry



HWT data plate



HWT serial Number

Location of Main Water Shut off + Photo

Basement, Under Stairs

The valve is not operated to test its functionality. The supply material is suspected to be Polyethylene, but cannot be confirmed due to the vapour barrier in the way.



Main Water Shut Off

Limitations

General / Limitations

ITEMS EXCLUDED FROM INSPECTION

performance of floor drains, Isolating/relief valves & main shut-off valve, Concealed plumbing, Tub/sink overflows, Washing Machines/ Appliances

General / Limitations

SCOPE OF FIXTURES

Water is flowed for approximately 60 seconds at sinks and shower drains during inspection. Please note that this will not confirm the absence of blockages downstream, beyond the immediate fixtures tested. Subgrade sanitary piping is not visible and therefor is beyond the scope of this inspection.

General / Limitations

SUPPLY SOURCE NOT DETERMINED

The source of the water supply is not determined as per the scope.

Deficiencies



HOSE BIBS NOT FROST RESISTANT

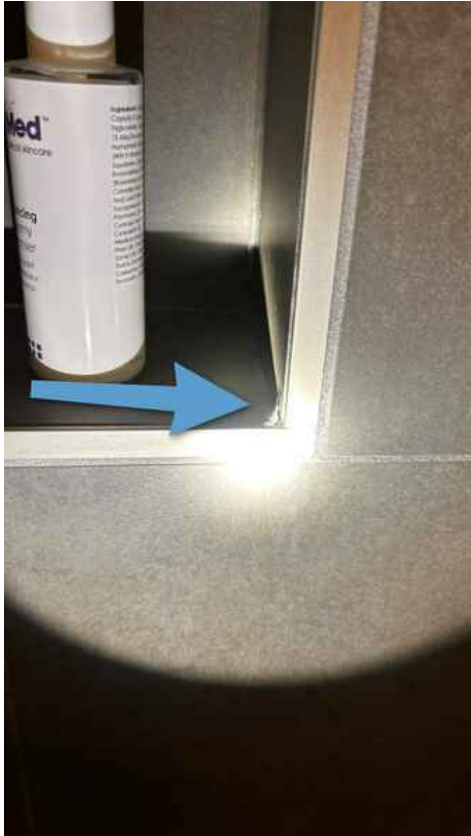
The exterior hose bibs are not frost-free, which can increase the risk of water pipes freezing during colder months. It's recommended to upgrade these to frost-free hose bibs. This modification helps prevent freezing issues and potential water damage in the winter. Consider making this upgrade before cold weather sets in.



Upgrade Hose Bibs

ROUTINE MAINTENANCE FOR SITE-BUILT SHOWER

The site-built shower in the upstairs bathroom requires regular sealing and routine maintenance to ensure its longevity. Particular attention should be paid to level surfaces, such as the soap and shampoo holders, as well as the corners of the shower. These areas should be periodically re-caulked or sealed with silicone to prevent water infiltration and maintain the integrity of the shower. Routine upkeep will help avoid potential issues down the line.



Silicone Maintenance



Caulk Maintenance

SHOWERHEAD LEAK IN UPSTAIRS GUEST BATHROOM

The showerhead in the upstairs guest bathroom was observed to have a slight leak. While this is not a major issue at the moment, it is recommended to address this upon possession to prevent further leakage and ensure proper functionality of the showerhead.



Showerhead leaking slightly

NON-FUNCTIONING SINK STOPPER IN MASTER BATHROOM (LEFT BASIN)

The sink stopper in the left basin of the master bathroom was not functioning at the time of inspection. It is recommended to repair or replace the stopper upon possession to ensure full functionality of the sink.

PLASTIC WATER SUPPLY LINES FOR WASHERS

Both washers in the home are connected to plastic piping for their main water supply. It is recommended to upgrade these to braided metal supply lines, which are more durable and less prone to leaks. This upgrade should be considered upon possession to ensure a more reliable water connection and reduce the risk of future water damage.



Upgrade rubber hoses



Upgrade Rubber hoses to metal braided

CAULKING AND SHOWER DOOR MAINTENANCE NEEDED IN DOWNSTAIRS SUITE BATHROOM

The glass shower door in the downstairs basement suite bathroom requires caulking maintenance, as it does not fully seal to the tile wall, causing water to leak out. Additionally, the sliding glass door felt uneven and difficult to open and close, likely due to worn wheels on the track. It is recommended to address both the caulking and door mechanism upon possession to prevent further water leakage and ensure smoother operation of the shower door.



Wheels/ Track possibly worn



Shower wall not Sealed to tile



Seal Wall to Tile to prevent leaks

6: ELECTRICAL

Information

Main Panel/ Main disconnect Location *

Garage

Smoke and Carbon Monoxide Detectors *

Smoke alarms present (not tested), CO alarms present (not tested)

Panel Type

Circuit Breaker

Service Size (amperage) *

200 amps, 120/240V

Distribution Wire Material and Type *

Copper - non-metallic sheathed

Room For Additional Breakers in Panel?

Yes

Sub Panel Location

Suite Hall Way

Circuit Interrupters GFCI(ground fault) /AFCI (arc fault) *

GFCI's Present, AFCI's Present

Service Entrance and Location

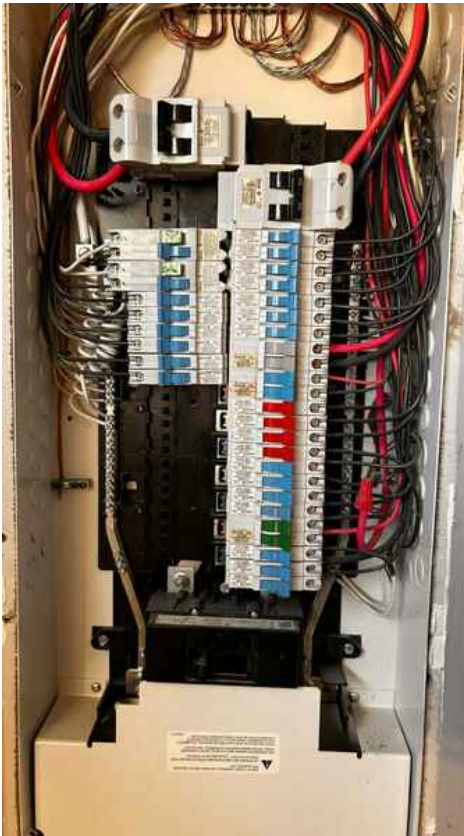
Below Ground

System Grounding Material and Type

Copper- ground method not visible



Suite Panel



Main Panel

Limitations

General / Limitations

INSPECTION LIMITED/ PREVENTED BY

Storage, AFCIs (Arc Fault Circuit Interrupters) are not tested in a home that is occupied or where testing may cause damage. These should be tested monthly by the homeowner., Finished Areas

General / Limitations

CIRCUIT LABELS

The accuracy of the circuit index (panel labels) was not verified

General / Limitations

SYSTEM GROUND

Quality of ground not determined

Deficiencies

6.1.1 Panels, Service Entrance and Main Disconnect

 Significant Deficiency

CONDUCTOR TERMINATED WITH WIRE NUT IN ELECTRICAL PANEL

One conductor in the electrical panel has been terminated using a wire nut (Marrette). While this is not an immediate concern and appears to be safely terminated, it is recommended to consult a licensed electrician to confirm its safety. Ideally, the conductor should be removed completely to ensure the panel is properly configured. Addressing this upon possession would be a prudent step.



Terminated Conductor

IMPROPER USE OF EXTENSION CORD UNDERNEATH DECK

An extension cord was observed underneath the deck, being used as a permanent wiring fixture. Extension cords are not designed for long-term use in this manner and can pose electrical and safety hazards over time. It is recommended to replace this setup with proper permanent wiring installed by a licensed electrician. This should be addressed upon possession to ensure safety and compliance with electrical standards.



Extension cords not designed to be permanent wiring

SMOKE AND CARBON MONOXIDE DETECTORS

It is important to note that **smoke detectors should be installed in each room and living space, as well as carbon monoxide detectors on every floor and near appliances that emit CO.** These detectors can help ensure the safety of occupants by providing early warning in case of fire or the presence of dangerous levels of carbon monoxide. It is recommended to test these detectors regularly and replace batteries as needed to ensure they are functioning properly. This is a life safety issue.



Install adequate smoke and CO detectors

7: INTERIOR

Information

Window Construction*

Single-hung, Sliders, Vinyl, Fixed
Glazing, Awning

Major Floor Finishes*

Carpet, Hardwood, Linoleum, Tile

Major Wall Finishes

Plaster/Drywall

Major Ceiling Finishes*

Plaster/drywall

Door Material/Type

Pocket, Hinged, French, Folding
closet doors

Window Glazing

Double Glazed

Limitations

General / Limitations

COSMETIC DEFICIENCIES

Cosmetic damage and/or deficiencies to wall, floor, and/or ceiling surfaces were present in area(s) of the home. If these areas are of concern, appropriate tradespeople should be contacted for repairs as needed. Cosmetic deficiencies are not included in a home inspection, and if any reference(s) are present, these should be viewed as a courtesy and not a listing of every occurrence present.

General / Limitations

CHAIR-LIFT NOT TESTED

The chairlift, which is installed to assist elderly individuals with navigating the stairs, is beyond the scope of a typical home inspection and was not tested. It is recommended to consult the manufacturer or a specialist for an inspection of the chairlift to ensure proper functionality and safety.

Deficiencies

7.2.1 Windows



Marginal Defect

MISSING PLASTIC FLASHING ON DOWNSTAIRS BEDROOM WINDOW

The window on the left side of the house, serving one of the bedrooms in the downstairs suite, is missing a small section of plastic flashing that typically covers the border of the windowpane. This is a minor issue, but it's recommended to replace the flashing to ensure proper sealing and protection against potential moisture intrusion or drafts. This repair should be addressed upon possession.



Replace missing window component

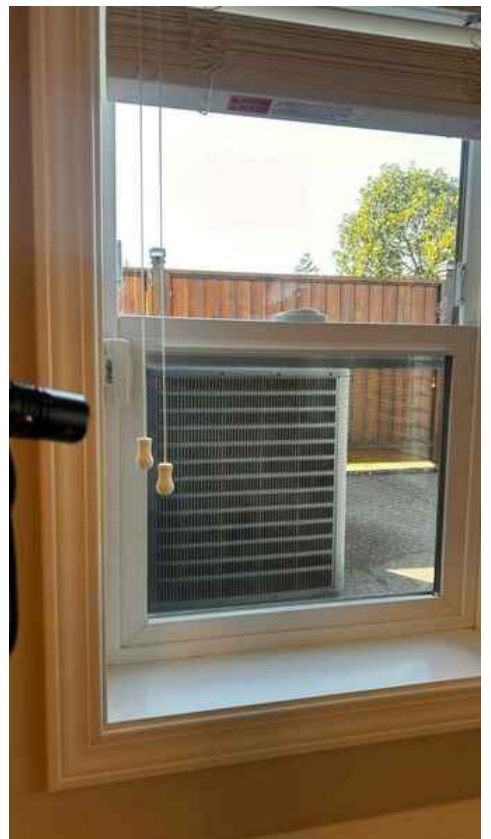
7.2.2 Windows



Maintenance Item/ Aesthetic

SLIGHTLY STICKY HUNG WINDOW IN DOWNSTAIRS BEDROOM

The hung window in the bedroom of the downstairs basement suite was noted to be slightly sticky when opening and closing. While still functional, it may require a bit more effort to operate. This is a minor issue that can be addressed at your discretion to improve ease of use.



Window slightly Sticky



RIP IN LINOLEUM AND MINOR SCRATCHES IN HARDWOOD FLOORING

A small rip and tear were noted in the linoleum near the utility closet in the basement, along with several minor scratches observed in the hardwood flooring throughout the home. While these are cosmetic issues, they should be addressed at your discretion upon possession to maintain the appearance and durability of the flooring.



Small Scratch in wood floor



Small Scratch



Ripped linoleum



MINOR FLOOR DISPLACEMENT NOTED BETWEEN KITCHEN AND PANTRY

A minor floor displacement was felt between the main area of the kitchen and the pantry. This slight unevenness is common in homes and could be attributed to the subfloor or minor settling. It is barely noticeable and does not currently pose a concern. However, if desired, it can be monitored over time to ensure no further movement occurs.



Very Minor Floor Displacement (hard to capture with camera)

7.6.1 Steps, Stairways & Railings

HANDRAIL SAFETY CONCERN ON MAIN FLOOR STAIRWAY

 Significant Deficiency

The handrail on the stairway leading to the upstairs does not extend fully to the last step. While this may not pose an immediate issue for most, it is a potential safety hazard, particularly for elderly individuals or those with mobility concerns. It is recommended to extend the handrail to improve safety and ensure full support when using the stairs. This should be addressed upon possession for enhanced safety.



Handrail should extend as far as treads

7.7.1 Countertops & Cabinets

MINOR ALIGNMENT ISSUE WITH UPSTAIRS BATHROOM DRAWER

 Maintenance Item/ Aesthetic

The upstairs bathroom drawer has a slight alignment issue, causing it not to open as smoothly as expected. However, it remains fully functional. This is a minor concern and can be addressed at your discretion if desired.

INACTIVE WASP NEST NOTED IN ENTRYWAY SOFFIT

A small, inactive wasp nest was observed in the peak of the entryway soffit. While there are no signs of current activity, it is recommended to remove the nest to prevent any future insect habitation. This can be addressed upon possession for peace of mind and to ensure the area remains pest-free.

 Marginal Defect



Nest in soffit peak



8: HEATING VENTILATION AND COOLING (HVAC) SYSTEMS

Information

System Type

Heat Pump, Electric Baseboard

Heat System Energy Source

Electric

Ductwork

Non-insulated

Limitations

General / Limitations

UNABLE TO TEST HEAT PUMP COOLING FUNCTION

Due to the exterior temperature on the day of the inspection, the cooling function of the heat pump could not be tested, as running it in low temperatures could potentially damage the system. It is recommended to test the cooling function during appropriate weather conditions to ensure proper operation.

Deficiencies

HEAT PUMP SERVICING AND ADEQUATE SIZING

The heat pump appears adequately sized to efficiently heat and cool the upstairs portion of the home, while the downstairs suite relies on electric baseboard heating. It is recommended to have the heat pump serviced + cleaned upon possession to ensure it continues to function effectively and maintains energy efficiency. Regular maintenance will help prolong the lifespan of the system and ensure optimal performance.



Heat Pump



HP Data Plate

9: FIREPLACE

Information

Fuel Source
Gas

Chimney/ Venting Material
Sidewall Venting

Limitations

General / Limitations

UNABLE TO TEST FIREPLACE DUE TO MISSING BATTERIES

Unable to test the functionality of the fireplace at the time of inspection due to the control unit lacking batteries. It is recommended that the seller provides batteries or instructions for operating the fireplace to ensure proper testing and functionality upon possession.



Missing batteries for fireplace

Deficiencies

9.1.1 Service/Inspection

SERVICE GAS FIREPLACE



Maintenance Item/ Aesthetic

Recommend to service gas fireplace upon possession for optimal performance and efficiency.



Service Fireplace

10: UNFINISHED SPACE INSULATION & HOME VENTILATION

Information

Type of insulation and vapour barriers in unfinished spaces *

Polyethelene, Blown in Fiberglass

Insulation Type/ Material(s)

Fiberglass, Loose-fill

Attic Intake Ventilation Method

Soffit Vents

Attic Exhaust Ventilation Method

Box Vents

House Mechanical Ventilation System

Bathroom Fan on timed system

Bathroom Exhaust Fans

Vented to Exterior

Kitchen Exhaust Fans

Vented to Exterior

Method used to Inspect Attic

Viewed from hatch

Attic Access Location

Closet, Master bed

Attic photos





Deficiencies

MINOR ATTIC STAINING ON SHEATHING

A small amount of attic staining was observed on the right side of the sheathing. This minor staining could be due to a number of factors, including a potential ventilation issue or simple surface discoloration during construction. While the staining is very minor and not currently a cause for concern, monitoring the area over time is recommended to ensure no further issues arise. If there are any concerns, a ventilation specialist can provide further evaluation.



Minor Attic Staining

Attic Staining

NONMETALLIC CORRUGATED DRYER VENT

The downstairs suite dryer is using a nonmetallic corrugated vent for exhaust, and it is recommended to upgrade this to a smooth metallic vent to improve efficiency and fire safety. The vent for the upstairs dryer was not fully visible without pulling out the unit, but it is recommended to replace this vent with a smooth metallic material upon possession as well. Both upgrades will help ensure proper ventilation and reduce the risk of potential fire hazards.



Upgrade material