



WATCHTOWER
HOME INSPECTIONS

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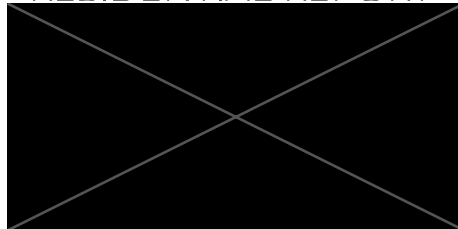
7786779369

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<https://watchtowerinspections.ca/>



RESIDENTIAL REPORT



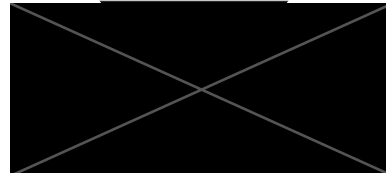
Inspector

Mitchell Cunningham

85892

7124 Willis Point Road, BC

mitch@watchtowerinspections.ca



1: INSPECTION DETAILS

Information

In Attendance

Client, Client's Agent

Occupancy

Furnished, Occupied

Type of Building

Duplex

Structure Orientation

For the sake of this inspection the front of the home will be considered as the portion pictured in the cover photo. References to the left or right of the home should be construed as standing in the front yard, viewing the front of the home.

Important Information

This report divides deficiencies into three categories; Significant/Major Defects (**in red**, also listed in the summary), Marginal Defects (**in orange**), and Minor Defects/Maintenance Items/FYI (**colored in blue**). Safety Hazards or Concerns will be listed in the Red or Orange categories depending on their perceived danger, but should always be addressed ASAP.

Significant Defect

Items or components that were not functional, represent a serious safety concern, and/or may require a major expense to correct. Items categorized in this manner require further evaluation and repairs or replacement as needed by a Qualified Contractor prior to the end of your contingency period.

Marginal Defect

Items or components that were found to include a safety hazard, or a functional or installation related deficiency. These items may have been functional at the time of inspection, but this functionality may be impaired, not ideal, and/or the defect may lead to further problems (most defects will fall into this categorization). Repairs or replacement is recommended to items categorized in this manner for optimal performance and/or to avoid future problems or adverse conditions that may occur due to the defect, prior to the end of your contingency period. Items categorized in this manner typically require repairs from a Handyman or Qualified Contractor and are not considered routine maintenance or DIY repairs.

Minor Defect, Maintenance Item, or FYI Item

This categorization will include items or components that may need minor repairs which may improve their functionality, and/or found to be in need of recurring or basic general maintenance. This categorization will also include FYI items that could include observations, important information, limitations, recommended upgrades to items, areas, or components, as well as items that were nearing, at, or past the end of their typical service life, but were in the opinion of the inspector, still functional at the time of inspection. Major repairs or replacement should be anticipated, and planned for, on any items that are designated as being past, or at the end of their typical life. These repairs or replacement costs can sometimes represent a major expense; i.e. HVAC systems, Water Heaters, Plumbing pipes, etc.

These categorizations are in my professional judgement and based on what I observed at the time of inspection. This categorization should not be construed as to mean that items designated as "Minor defects" or "Marginal Defects" do not need repairs or replacement. The recommendations in each comment is more important than its categorization. Due to your perception, opinions, or personal experience you may feel defects belong in a different category, and you should feel free to consider the importance you believe they hold during your purchasing decision. Once again, it's the "Recommendations" in the text of the comment pertaining to each defect that is paramount, not its categorical placement.

Asbestos (pre 1990)

Homes built prior to 1990 may contain materials that are now considered hazardous. Please visit: www.worksafefbc.com to familiarize yourself with safe practices for handling these materials. Health Canada can also provide you with important information at: <https://www.canada.ca/en/health-canada/services/air-quality/indoor-air-contaminants/health-risks-asbestos.html>

Confirm Closure of Permits

The inspector recognized that significant renovations have taken place throughout the property (**Office near kitchen addition**). Although nothing leads the inspector to believe that work was done without permits, it is still recommend to confirm the use of permits and to insure they are properly closed out with the municipality before subject removal.

2: EXTERIOR

Information

Inspection Method*

Visual, From grade

Siding Material*

Stucco, Architectural Laminate
Shingles

Soffit Finishes

Perforated, Aluminium

Exterior Door Material/Type

Wood, French

Driveway Material

Concrete

Walkway Leading to Dwelling Entrance

Concrete, Pavers

Fascia Materials/ Finishes

Paint/ Stain, Aluminium

Surface Grading

Generally Flat, Driveway slopes
toward garage and lot

Roof Water Discharge

Below Grade, Above Grade

**Foundation Wall Damp Proofing/
Membrane**

None Visible

**Above Grade Risers or Stand
pipes Materials**

Concrete, Big O

Limitations

General / Limitations

VEGETATION AROUND HOME

A wall covered with vines cannot be fully inspected. Recommend observing covered spots when access is granted after possession.

General / Limitations

FOUNDATION DRAIN SYSTEM BELOW GRADE

As the foundation drain system is below grade and not visible for inspection, we cannot confirm that a foundation drain system is present, continuous, has appropriate slope, where it drains to, and IF present is installed correctly. If certification of the below grade system is desired, further review is referred to the service of a qualified drainage contractor. We recommend that you Inquire with the vendor for any history of below grade moisture intrusion prior to closing the real-estate transaction.

General / Limitations

ASK SELLER HISTORY PERTAINING TO PERIODS OF INTENSE RAIN

Recommend asking the seller about water problems including but not limited to water puddles in the yard, gutter or downspout problems, water penetration into the lowest level of the structure, and drainage systems. Recommend closely monitoring and inspecting the exterior during a heavy rainstorm to observe the way the surface water is managed.

UNABLE TO DETERMINE SOIL CHARACTERISTICS AROUND HOME

Since the inspection is purely visual, there is no way to determine the characteristics of the soil all the way down to the footings. If the ground around the building is extremely porous (sand or gravel, for example), water will drain through sand or gravel very quickly rather than run across the surface away from the structure.

OUTBUILDINGS, AND WOOD SHED NOT PART OF INSPECTION

Outbuildings, such as sheds or the woodshed, were not part of this inspection and were not assessed during the examination of the main property. Therefore, their condition and any potential issues remain unexamined and unreported. If you have specific concerns or interest in these structures, it is advisable to arrange a separate inspection or assessment of these outbuildings by a qualified professional.

SURFACE GRADING LIMITATIONS

The grading and lot drainage performance are limited to the conditions existing at the time of the inspection only. It cannot be guaranteed of this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls or under slabs is limited to the visible conditions at the time of inspection and evidence of past problems. It is recommended to consult with the sellers as to any previous moisture intrusion into the structure and reading over the Sellers Disclosure, which should list any such issues.

Deficiencies

2.1.1 Siding, Flashing & Trim

PAINT AND UPKEEP NEEDED FOR WINDOW FRAMES AND TRIM



Maintenance Item/ Aesthetic

The window frames and trim need paint and upkeep, especially the window sill that is negatively graded toward the window assembly. It is recommended to repaint and properly maintain the window frames and correct the grading of the window sill to prevent water ingress and prolong the life of the windows. This maintenance should be completed upon possession to ensure the windows remain in good condition.



Rotted trim (garage)



Trim decaying due to contact with grade



Negative sloped sill

2.1.2 Siding, Flashing & Trim

 Significant Deficiency

ADDRESS ROTTING AND DAMAGED WINDOW SILLS

Two window sills in the master bedroom upstairs exhibit severe rot, as they are the only sills not utilizing aluminum and instead relying on paint and wood. The likelihood of hidden damage is high, and it may be necessary to consult multiple professionals/ contractors due to the scope of work. Additionally, other window sills show signs of needing paint and flashing adjustments to prevent wind-driven rain from getting behind the siding. The design of the deep sloped sills contributes to these issues. It is recommended to obtain quotes for the necessary repairs before closing, as fixing the damage in the wall system may be expensive. Addressing these concerns upon possession will ensure the windows and surrounding structure are protected.



Severely Rotted Sill



Possible entry point for water due to deep window well design



Paint and upkeep recommended

2.1.3 Siding, Flashing & Trim

 Significant Deficiency

ADJUST LANDSCAPING TO PROTECT SIDING

The siding throughout the property is too close to grade, causing damage to the stucco in areas. It is recommended to adjust the landscaping where possible to ensure the siding is not touching the ground. Additionally, repair any damaged stucco to prevent further deterioration. These actions should be taken upon possession to protect the exterior surfaces and maintain the integrity of the home.



Siding too close to grade



Siding and grade touching

2.1.4 Siding, Flashing & Trim

 Marginal Defect

ADDRESS STUCCO CRACKS, ESPECIALLY ON CHIMNEY

General stucco cracks were observed around the home. The chimney, which is attached to the home, has a several stucco cracks likely due to settling differently than the rest of the structure. It is recommended to patch and seal these cracks to maintain the integrity of the siding and prevent water ingress. These repairs should be completed upon possession to ensure the home's exterior remains in good condition.



Cracked patch



Stucco deterioration



Cracking near chimney

2.1.5 Siding, Flashing & Trim

 Marginal Defect

TRIM OR REMOVE VEGETATION NEAR SIDING AND SLAB

Vegetation is too close to the siding and the base of the tree/shrub is very close to the slab. It is recommended to trim back the vegetation to at least 3 feet from the siding for proper airflow and drying, and to consider removing the tree/shrub to prevent potential damage. This should be addressed upon possession to protect the siding and slab.



Trim or remove vegetation



Tree very close to slab

2.3.1 Exterior Doors

 Significant Deficiency

REPAIR FRENCH DOORS AND JULIET BALCONY GUARD RAIL

Both the French doors leading to the back patio and the Juliet balcony doors in the master bedroom were difficult to operate, with only one door of each set able to open without risking damage. Additionally, the Juliet balcony guard rail poses a safety risk (particularly for children) due to its height and the spacing of the balusters. It is recommended to repair the doors for proper functionality and address the guard rail to ensure safety. These improvements should be made upon possession to enhance usability and safety.



Wide Balusters, Short Guard Rail



Difficulty opening juliet doors

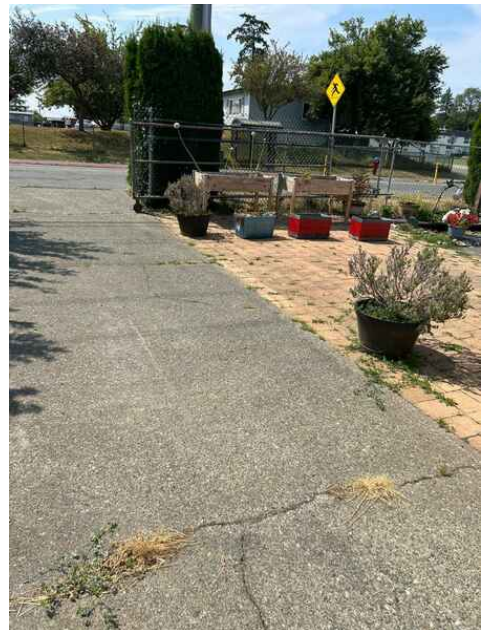
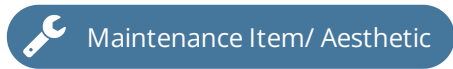


Unable to open 1 french door lock

2.4.1 Walkways, Patios & Driveways

DRIVEWAY CRACKING - MINOR

Minor cracks were observed in the driveway, which is typical for a home of this age. It is recommended to monitor these cracks and perform routine maintenance and repair as needed to prevent further deterioration.



Minor Cracking

2.4.2 Walkways, Patios & Driveways

ADDRESS TRIP HAZARDS ON PROPERTY



Trip hazards were noted throughout the property, particularly on the front entry pathway made of pavers. This presents a liability risk due to public use for mail and deliveries. It is recommended to level and secure the pavers and address other trip hazards to ensure safety. These repairs should be completed upon possession to reduce the risk of accidents and liability.



Paver trip hazard



Landscaping material trip hazard



Concrete/Paver trip hazard



non uniform patio platform

2.5.1 Eaves, Soffits, Drainage & Fascia

SEAL GAPS IN SOFFITS

 Marginal Defect

Multiple gaps were noted in the perforated soffits, creating entryways for pests. It is recommended to seal these gaps to prevent pest intrusion and maintain the home's integrity. This should be done upon possession to ensure a pest-free environment.




Major Gap in Soffit



Gap where downspout meets soffit

2.5.2 Eaves, Soffits, Drainage & Fascia

 Maintenance Item/ Aesthetic

EXTEND DOWNSPOUT NEAR BACK PATIO

The downspout near the back patio needs to be extended to direct water away from the structure. This should be done upon possession to prevent potential water damage and maintain the integrity of the patio area.



Extend downspout

2.6.1 Grading and Lot Surfaces

 Significant Deficiency

PERIMETER DRAINAGE SCOPE

A perimeter drainage scope is recommended due to the materials of the risers (concrete and Big O). These materials can be prone to issues such as blockages, collapse and deterioration over time. It is advised to have a qualified professional assess the perimeter drainage system to identify any potential problems and ensure proper function. This should be completed before subject removal to maintain effective drainage and protect the property's foundation and landscaping.



Concrete Riser



Scope for blockages/collapse

2.6.2 Grading and Lot Surfaces

MANAGE DRIVEWAY AND PROPERTY GRADING FOR EFFECTIVE WATER DRAINAGE

 Marginal Defect

The grade of the driveway leading to the garage and possibly the property itself is a concern. It is crucial to manage water flow to ensure it drains away from the structures effectively. The existing gravel slot drain may not be sufficient. It is recommended to ask the seller about the property's history with intense rain and consider additional drainage solutions if necessary. This should be addressed upon possession to prevent potential water damage.



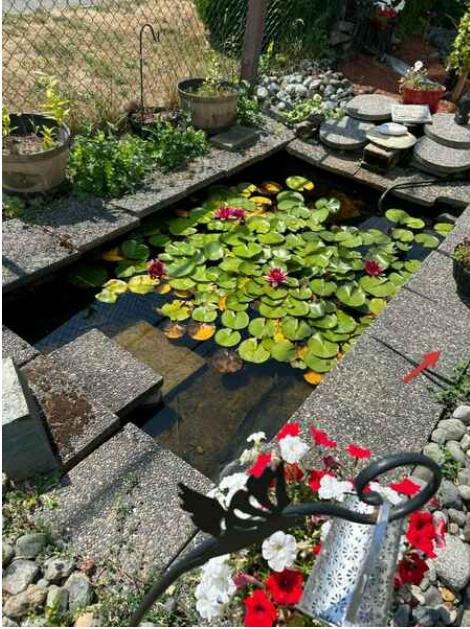
Very important to manage water, ask seller history

2.6.3 Grading and Lot Surfaces

ADDRESS DECORATIVE POND AND LOOSE PAVERS FOR SAFETY

 Significant Deficiency

The decorative pond and surrounding pavers near the pond present safety concerns. The pond poses a danger to children, and the loose pavers create a trip hazard. It is recommended to secure the pavers and consider safety measures for the pond to ensure a safe environment. These actions should be taken upon possession to prevent potential accidents.



Loose paver, add guard rail or remove pond

3: ROOF

Information

Covering Material*

Torch on Modified Bitumen

Inspection Method*

Walked on roof

Chimney Construction

Chimney Chase (wood+siding),
Metal B-Vent

Flashing Material

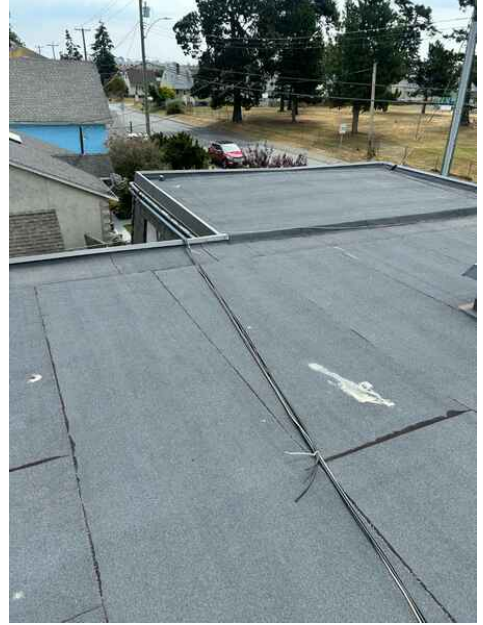
Aluminum

Roof Comment

Early stages of roof service life. (expectancy of 35 years)

This roof is in the very early stages of its service life, and at time of inspection, no leaks or issues were detected. It appears they were very intentional in managing the flow of water to drain effectively. With proper maintenance and regular inspections, it has the potential to provide long-lasting protection for your home. It's crucial to stay vigilant and address any emerging concerns promptly to maximize its service life.

Roof Photos:



Limitations

General / Limitations

GENERAL QUALITY AT TIME OF INSPECTION

The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior ceilings, were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.

Please refer to the seller's disclosure in reference to the roof system, age, condition, prior problems, etc. Only the property owner would have intimate, accurate knowledge of the roof system. The inspector can only estimate the age based primarily on general appearance. This report is an opinion of the general quality of the roofing materials at the time of inspection. The inspector cannot, and does not, offer a guarantee as to whether the roof has leaked in the past, leaks now, or may be subject to future leakage.

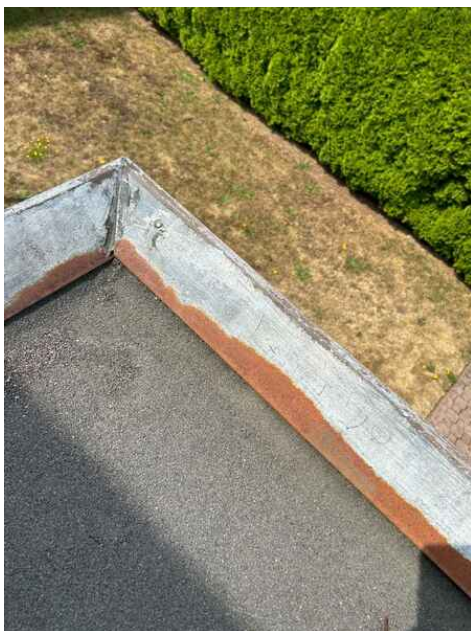
Deficiencies

3.1.1 Coverings

— Marginal Defect

MONITOR ENTRYWAY OVERHANG FOR WATER EXPULSION

The overhang of the entryway is made of a modified bitumen product and was not updated when the roof was. It is showing signs of granular loss, ponding and rusted flashing. While this is not too concerning as it is not over a living space, it is recommended to monitor it during heavy rains to ensure it is effectively expelling water away from the structure and not holding water after periods of rain. Regular monitoring will help maintain the overhang's condition and prevent potential issues.



Rusting flashing



signs of granular loss and pooling

3.3.1 Flashing

— Marginal Defect

ADJUST PARAPET WALL FLASHING FOR OPTIMAL WATER FLOW

The parapet wall flashing around the perimeter of the roof has some sections where the slope directs water away from the roof rather than towards it. Ideally, parapet flashings should direct water onto the roof surface to prevent drips around the home and siding. While the flashing and roof are very new and in great condition, it is recommended consult with a roofer to adjust the slope of the flashing upon the next maintenance call to ensure proper water flow. This adjustment will help maintain the integrity of the home's exterior.



Some sections of parapet flashing are sloped incorrectly

3.4.1 Skylights, Chimneys & Other Roof Penetrations

— Marginal Defect

RUSTING/PITTING OF METAL CHIMNEY CAP/VENT

The metal chimney cap shows signs of rusting and pitting, which could potentially lead to water entering the system. It is recommended to patch or replace the chimney cap/vent to prevent water ingress and ensure the chimney's proper function. Addressing this issue upon possession will help protect the chimney system and maintain its integrity.



Rusting and pitted rain guard

4: STRUCTURE & FOUNDATION

Information

Foundation Material*

Slab on Grade

Exterior Wall Construction*

Wood Stud

Floor Construction*

Wood Beams, Concrete, Wood Joists

Roof and Ceiling framing*

Flat, Ceiling Joist

Inspection Method*

No accessible attic space

Configuration

Monolithic Slab

Method used to Inspect

Crawlspace

N/A

Basement/Crawlspace Floor

N/A

Limitations

General / Limitations

INSPECTION LIMITED/ PREVENTED BY

Ceiling Coverings, Wall Coverings, Floor Coverings, Storage, Insulation

General / Limitations

PERCENT OF FOUNDATION NOT VISIBLE

95%

Deficiencies

4.2.1 Floor Structure



Significant Deficiency

AWARENESS OF FLOOR DISPLACEMENT IN MASTER BEDROOM

There is significant floor displacement in the master bedroom between the vinyl and carpeting. While it may not be practical to change or address it immediately, be aware that the inconsistency presents a trip hazard. Exercise caution in this area to prevent potential accidents.



Large Floor Transition

4.6.1 Structure



Maintenance Item/ Aesthetic

PAINT ENTRY OVERHANG BEAM

The beam of the entry overhang is showing signs of decay, though the rot is not extensive. It is recommended to paint the beam to prevent further deterioration. This maintenance should be completed upon possession to protect the beam and extend its lifespan.



Paint exposed beam

5: PLUMBING

Information

Supply Piping Material

Unknown

Drain Waste and Vent Piping Material

ABS

Distribution Piping Material

Copper

Location of Hot water tank

Under Stair Closet

Water Heater Fuel Source/Type

Electric

Age of water heater(s)

6 yrs

Location of Main Water Shut off

Not found during inspection

Main Gas Shut-off Location

Right side of home

Location of Sump pump

N/A

The valve is not operated to test its functionality.

Manufacturer

John wood

Recommend servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding. Obtain remaining warranty from seller.

Limitations

General / Limitations

ITEMS EXCLUDED FROM INSPECTION

performance of floor drains, Isolating/relief valves & main shut-off valve, Concealed plumbing, Tub/sink overflows, Washing Machines/ Appliances, Front hose bib damaged, couldn't test

General / Limitations

SCOPE OF FIXTURES

Water is flowed for approximately 60 seconds at sinks and shower drains during inspection. Please note that this will not confirm the absence of blockages downstream, beyond the immediate fixtures tested. Subgrade sanitary piping is not visible and therefor is beyond the scope of this inspection.

General / Limitations

SUPPLY SOURCE NOT DETERMINED

The source of the water supply is not determined as per the scope.

Deficiencies

5.2.1 Drain, Waste, & Vent Systems

INVESTIGATE SLOW DRAINING IN TUB AND DOWNSTAIRS POWDER ROOM SINK



Maintenance Item/ Aesthetic

The tub and the downstairs powder room sink were very slow draining. This could be due to hair and debris blockages, but it could also indicate a ventilation issue. It is recommended to have a qualified plumber investigate and address the cause to ensure proper drainage if snaking them doesn't solve the issue. This should be done upon possession to maintain efficient plumbing and to prevent frustration.



Slow draining basin



Slow draining tub

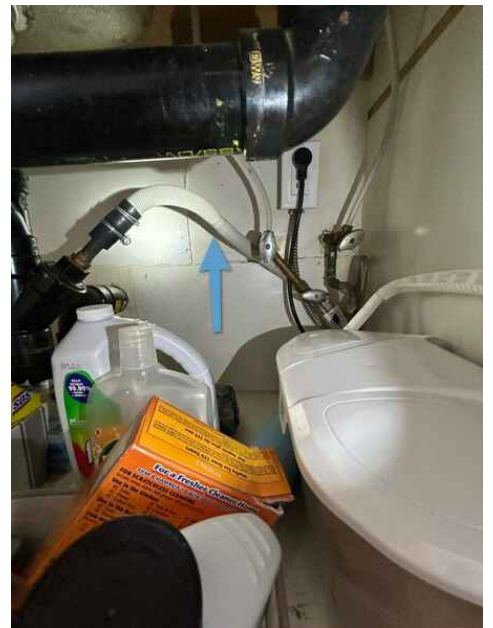
5.2.2 Drain, Waste, & Vent Systems

INADEQUATE/ MISSING AIR GAP ON DISHWASHER DRAIN LINE



Maintenance Item/ Aesthetic

A "high loop" or "air gap" was not present or not installed properly for the dishwasher drain line at visible portions. A high loop or air gap prevents wastewater from siphoning back into the dishwasher during operation. The proper installation of the dishwasher drain line, incorporating a proper high loop, is recommended to be conducted by a licensed plumber or other qualified person upon possession.



Hose should loop higher



HOSE BIBS NOT FROST RESISTANT

The exterior hose bibs are not frost-free, which can increase the risk of water pipes freezing during colder months. Both hose bibs also had missing or damaged spout controls. It's recommended to upgrade these to frost-free hose bibs. This modification helps prevent freezing issues and potential water damage in the winter. Consider making this upgrade before cold weather sets in.



Upgrade bib



AGED COPPER PIPES

Due to the age of the home, it is important to be aware that the copper pipes are approaching 50 years old. While some copper pipes are known to last 70+ years, they have been known to fail at 35-50. Regular monitoring for any signs of wear or corrosion is advisable. This awareness will help in maintaining the plumbing system and planning for future maintenance.



Ageing copper pipes throughout home



REPAIR LEAK IN UPSTAIRS BATHROOM BASIN

A small leak was observed in the upstairs bathroom basin where the draining material (ABS) meets the basin. It is recommended to have a qualified plumber repair this leak to prevent water damage and ensure proper functionality. This repair should be completed upon possession to maintain an efficient plumbing system.



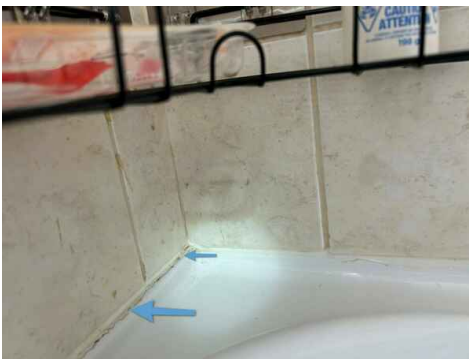
Leaking basin

5.3.4 Distribution Systems & Fixtures

 Maintenance Item/ Aesthetic

REPAIR CRACKED TILE AND PERFORM SILICONE MAINTENANCE

A cracked tile was observed in the bathroom wall area, and silicone maintenance is needed. It is recommended to repair or replace the tile and reapply silicone to prevent water infiltration and maintain the bathroom's aesthetic. These repairs should be completed upon possession to ensure the integrity of the bathroom wall.



Silicone maintenance



Cracked tile

5.4.1 Hot Water Systems

 Marginal Defect

MISSING SEISMIC STRAPS, DRIP PAN, AND EXPANSION TANK FOR HOT WATER TANK

The hot water tank is missing seismic straps, a drip pan, and an expansion tank. It is recommended to install these safety features during the next replacement of the tank to ensure compliance with safety standards and prevent potential water damage.



Missing expansion tank



No seismic straps/drip pan

6: ELECTRICAL

Information

Service Size (amperage) *
125 amps, 120/240 V

Circuit Interrupters GFCI(ground fault) /AFCI (arc fault) *
GFCI's Present, AFCI's Not present

Service Entrance and Location
Overhead, Right side of home

System Grounding Material and Type
Copper- ground method not visible

Panel Manufacturer
Federal Pioneer Stab Loc

Main Panel/ Main disconnect Location *
Kitchen

Smoke and Carbon Monoxide Detectors *
Smoke alarms present (not tested)

Panel Type
Circuit Breaker

Distribution Wire Material and Type *
Copper - non-metallic sheathed

Room For Additional Breakers in Panel?
Yes, Nearly Full

Panel Maximum Rating
125amps



Panel Cover



Panel

Limitations

General / Limitations

INSPECTION LIMITED/ PREVENTED BY

Storage, Insulation, Power was off in some areas, Finished Areas

General / Limitations

CIRCUIT LABELS

The accuracy of the circuit index (panel labels) was not verified

General / Limitations

SYSTEM GROUND

Quality of ground not determined

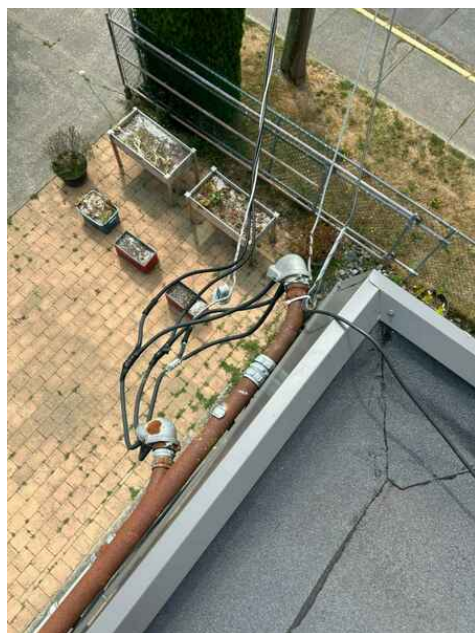
Deficiencies

6.1.1 Panels, Service Entrance and Main Disconnect

 Significant Deficiency

SECURE ELECTRICAL SERVICE LINES

The electrical service lines are not properly secured to the home, as evidenced by the securing hardware hanging in the air. It may be necessary to contact the service provider to address this issue and ensure the lines are securely attached. This should be completed upon possession to maintain safety and compliance.



Secure lines to structure



Other occupants of duplex are also responsible

6.1.2 Panels, Service Entrance and Main Disconnect

 Significant Deficiency

POSSIBLE REPLACEMENT OF ELECTRICAL PANEL DUE TO SAFETY CONCERNS

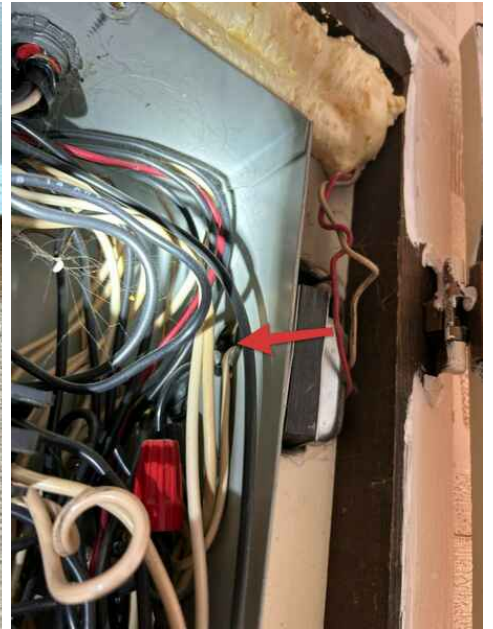
The Federal Pioneer Stab Loc electrical panel and breakers are notorious for not tripping during electrical overloads, which can lead to fires. While not officially recalled, there have been numerous instances of fires. Additionally, there is a double tap in the panel, signs of scorching around the panel cover, an opening in the panel, and sharp-tipped screws securing the cover, all of which present hazards. Panels need to be fully enclosed to contain a fire. It is recommended to obtain a quote for the possible full replacement of the panel before closing the real estate deal.



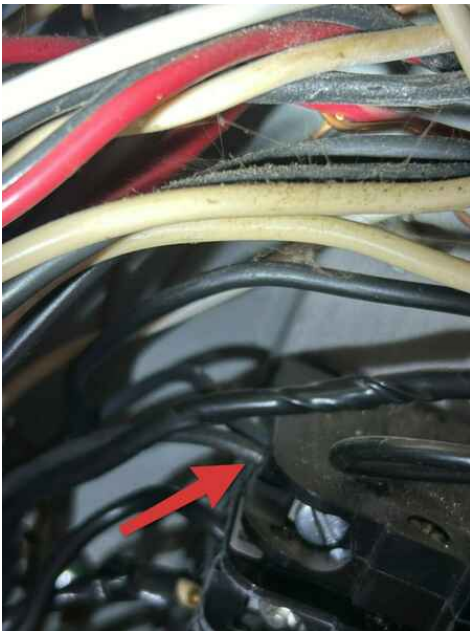
Scorching on panel cover



Improper screws securing panel (sharp tipped)



opening in panel (needs to be able to contain fire)



Double Tap

6.2.1 Branch Wiring Circuits, Breakers & Fuses and Distribution

TERMINATE OR REMOVE STRAY ELECTRICAL WIRES

 Marginal Defect

Electrical wires near the fireplace and underneath the sink should be either properly terminated or removed to prevent potential safety hazards. It is recommended to have a qualified electrician address these issues upon possession to ensure a safe home environment.



Stray conductor near fireplace (tested dead)



Stray conductor under sink (not tested)

6.3.1 Smoke and Carbon Monoxide Detectors

 Significant Deficiency

SMOKE AND CARBON MONOXIDE DETECTORS

It is important to note that smoke detectors should be installed in each room and living space, as well as carbon monoxide detectors on every floor and near appliances that emit CO. These detectors can help ensure the safety of occupants by providing early warning in case of fire or the presence of dangerous levels of carbon monoxide. It is recommended to test these detectors regularly and replace batteries as needed to ensure they are functioning properly. This is a life safety issue.



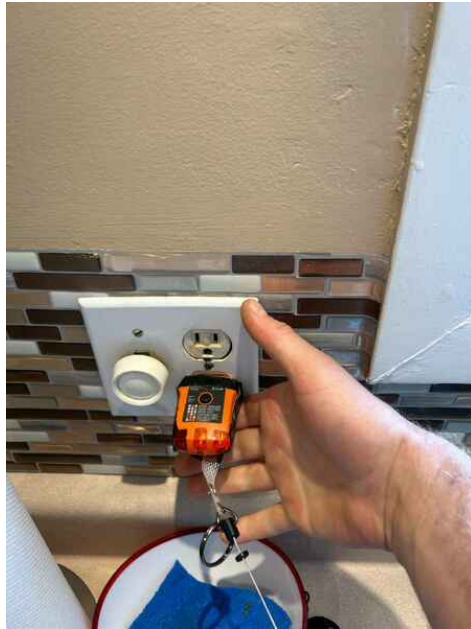
Ensure up to date detectors

6.4.1 Fixtures, Switches & Receptacles

 Marginal Defect

UPGRADE OUTLETS TO GFCI PROTECTION

Several outlets, both outside and inside the home, were not GFCI protected where required (near water source). Additionally, the exterior receptacles are showing signs of brittleness and cracking/ ageing. This condition results in a higher chance of electrical shock to the occupants. It is recommended to have a qualified electrician upgrade these outlets to ensure GFCI protection and replace any aging exterior receptacles. These upgrades should be completed upon possession to enhance safety and ensure compliance with electrical standards.



Exterior aged outlet not GFCI protected Kitchen receptacle near sink not GFCI

6.4.2 Fixtures, Switches & Receptacles

ADDRESS OPEN GROUND RECEPTACLE IN POWDER ROOM

— Marginal Defect

An open ground receptacle was found in the downstairs powder room. It is recommended to have a qualified electrician correct this issue to ensure electrical safety and proper grounding. This should be addressed upon possession to prevent potential electrical hazards.



Outlet tester reads open ground

7: INTERIOR

Information

Window Construction*

Casement, Sliders, Vinyl, Fixed Glazing, Awning, Aluminium

Major Floor Finishes*

Carpet, Laminate, Tile

Major Wall Finishes

Plaster/Drywall, Wood

Major Ceiling Finishes*

Wood, Plaster/drywall

Door Material/Type

Wood, Pocket, Hinged, French, Folding closet doors

Window Glazing

Double Glazed

Limitations

General / Limitations

COSMETIC DEFICIENCIES

Cosmetic damage and/or deficiencies to wall, floor, and/or ceiling surfaces were present in area(s) of the home. If these areas are of concern, appropriate tradespeople should be contacted for repairs as needed. Cosmetic deficiencies are not included in a home inspection, and if any reference(s) are present, these should be viewed as a courtesy and not a listing of every occurrence present.

Deficiencies

7.2.1 Windows

TORN SCREEN IN FRONT WINDOW



Maintenance Item/ Aesthetic

The front window has a torn screen. It is recommended to repair or replace the screen to maintain the window's functionality and appearance. This small repair should be completed upon possession.



Torn Screen

7.3.1 Floors

BASEBOARD BROKEN AT FIREPLACE, AND MISSING BASEBOARDS IN SPARE ROOM CLOSET



Maintenance Item/ Aesthetic

Repair/ Install as desired.



Loose baseboard



Missing baseboard

7.4.1 Walls

 Maintenance Item/ Aesthetic

REPAIR HOLE IN UPSTAIRS HALLWAY CLOSET

The upstairs hallway closet has an intentional hole in the drywall, taped up with a material likely to access the bathroom plumbing. The craftsmanship is very shoddy. It is recommended to have a professional repair the drywall properly to ensure a neat appearance and maintain the integrity of the closet wall. This repair should be completed upon possession.



Hole in closet wall

7.6.1 Steps, Stairways & Railings

 Significant Deficiency

ADDRESS HANDRAIL AND GUARD RAIL ISSUES ON STAIRWAY

The stairway leading upstairs lacks a handrail for the entire run, and the guard rail at the top of the stairs is not very sturdy. The balusters are quite wide, and the decorative metal could be a climbing apparatus for children. It is recommended to install a continuous handrail, reinforce the guard rail, and consider safety modifications to the balusters. These improvements should be made upon possession to ensure safety and functionality.



No continuous hand rail



un-sturdy guard rail, wide balusters

7.7.1 Countertops & Cabinets



Maintenance Item/ Aesthetic

**KITCHEN DRAWER
OBSTRUCTION BY OVEN UNIT**

The kitchen drawers do not open fully due to the new oven unit, which can be frustrating. While this is not a critical issue, it may impact the usability of the kitchen space. Consider this when planning for any future kitchen adjustments or renovations.



Drawer hits oven

7.8.1 Health and Environment



Significant Deficiency

SIGNS OF PESTS

A wasp nest was noted in one of the landscaping light fixtures, and signs of rodents and rodent control were observed in the living space. It is recommended to have a pest control professional remove the wasp nest and address the rodent activity. These actions should be taken upon possession to ensure a safe and pest-free environment.



Steel Wool used as deterrence



Wasp nest



Inactive wasp nest



Steel wool used in living space as deterrence.



Mice droppings



Mouse trap near fridge

8: HEATING VENTILATION AND COOLING (HVAC) SYSTEMS

Information

System Type	Heat System Energy Source	Combustion Air Source
Heat Pump, Electric Baseboard	Electric	N/A

Limitations

General / Limitations

BASEBOARD HEATERS NON-FUNCTIONAL DUE TO POWER OFF

The power was off to the baseboard heaters during the inspection likely due to the newly installed heat pump, so none of the baseboard heaters were functional. Some rooms rely solely on baseboard heaters for heat and could be left without a heat source if these are not operational. As a safety measure, home inspectors do not flip breakers. It is recommended to have the baseboard heaters checked by a qualified professional to ensure they are functioning properly.

General / Limitations

UNABLE TO TEST HEATING FUNCTION OF HEAT PUMP

Due to high outdoor temperatures, the heating function of the heat pump could not be tested without risking damage to the system. It is recommended to have the heating function tested when temperatures are suitable. This ensures the system is functioning properly before it is needed for heating.

Deficiencies

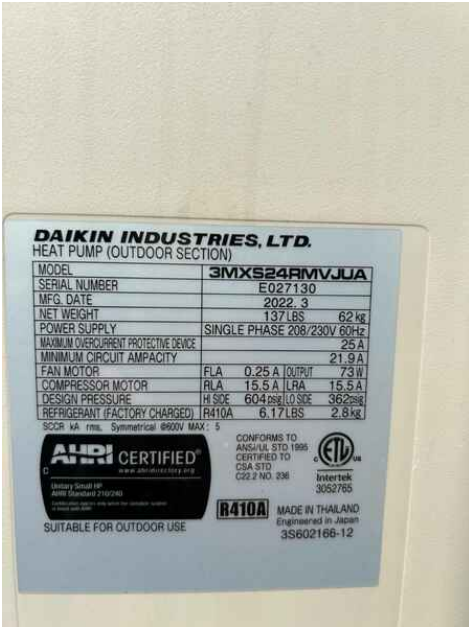
8.1.1 Equipment

SERVICE HVAC SYSTEM AND EXTEND CONDENSATE DRAIN



The HVAC condensate drain is discharging very close to the house and siding. It is recommended to extend the drain or divert it elsewhere as drip may be annoying.

Additionally, the heat pump should be cleaned and serviced upon possession, with regular maintenance scheduled thereafter. A qualified HVAC contractor should be engaged to maximize the unit's efficiency and ensure proper operation. Reach out to seller to obtain warranty information.



Heat pump data plate



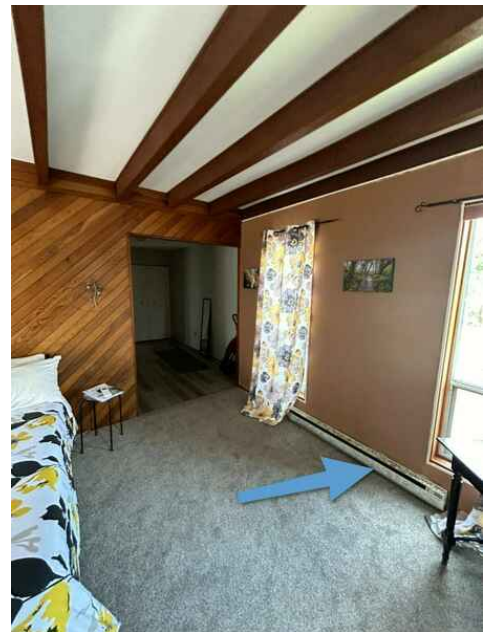
Condensate drain close to home (annoyance)

8.1.2 Equipment

 Maintenance Item/ Aesthetic

SECURE OR REMOVE LOOSE BASEBOARD HEATER IN MASTER BEDROOM

The baseboard heater in the master bedroom is loose. It is recommended to secure or remove the heater properly to ensure safe operation and prevent potential damage. This should be done upon possession to maintain safety and functionality.



Baseboard heater very loose

9: FIREPLACE

Information

Fuel Source
Gas

Chimney/ Venting Material
Metal into masonry

Deficiencies

9.1.1 Service/Inspection

 Marginal Defect

SERVICE GAS INSERT FIREPLACE AND CHECK SHUT-OFF

It is recommended to service the gas insert fireplace and determine if there is a sole shut-off valve accessible at the unit. Ensuring proper maintenance and easy access to a shut-off valve will enhance safety and functionality. This should be done upon possession to maintain the fireplace in good working order.



Service gas insert



Carbon monoxide detector

10: UNFINISHED SPACE INSULATION & HOME VENTILATION

Information

Type of insulation and vapour barriers in unfinished spaces *

All areas were finished

Insulation Type/ Material(s)

Unknown

House Mechanical Ventilation System

Bathroom Fan on timed system

Bathroom Exhaust Fans

Fan Only, Vented to Exterior

Kitchen Exhaust Fans

No Kitchen Exhaust Fan

Method used to Inspect Attic

No Attic Space to Inspect

Deficiencies

10.4.1 Mechanical Exhaust Systems

UPGRADE/ OPTIMIZE DRYER VENT

— Marginal Defect

The dryer vent material is corrugated and very long with many turns and twists, which can trap exhaust and lint, posing a fire hazard. It is recommended to upgrade to a smooth, rigid vent material to ensure efficient airflow and reduce the risk of lint buildup. This upgrade should be completed upon possession to maintain safety and improve dryer performance.



windy dryer vent material

10.4.2 Mechanical Exhaust Systems

LACK OF KITCHEN EXHAUST FAN AND MINI-SPLIT PLACEMENT

— Marginal Defect

The kitchen lacks an exhaust fan, and the placement of the mini-split system may blow cooking products/ moisture throughout the home. While it may not be practical to install or change the mini-split, be aware that the heat pump will help to dehumidify the air and manage moisture from cooking, though it is not a practical replacement for a kitchen exhaust fan. Consider a proper exhaust fan eventually.



Lack of kitchen exhaust