



WATCHTOWER
HOME INSPECTIONS

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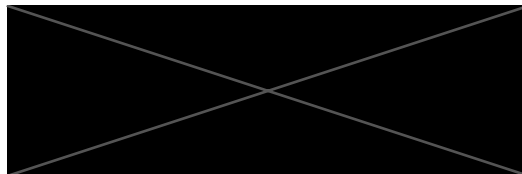
7786779369

mitch@watchtowerinspections.ca

<https://watchtowerinspections.ca/>



RESIDENTIAL REPORT



Inspector

Mitchell Cunningham

85892

7124 Willis Point Road, BC

mitch@watchtowerinspections.ca

1: INSPECTION DETAILS

Information

In Attendance

Client

Occupancy

Furnished, Occupied

Style

Manufactured

Structure Orientation

For the sake of this inspection the front of the home will be considered as the portion pictured in the cover photo. References to the left or right of the home should be construed as standing in the front yard, viewing the front of the home.

Important Information

This report divides deficiencies into three categories; Significant/Major Defects (**in red**, also listed in the summary), Marginal Defects (**in orange**), and Minor Defects/Maintenance Items/FYI (**colored in blue**). Safety Hazards or Concerns will be listed in the Red or Orange categories depending on their perceived danger, but should always be addressed ASAP.



Significant Defect

Items or components that were not functional, represent a serious safety concern, and/or may require a major expense to correct. Items categorized in this manner require further evaluation and repairs or replacement as needed by a Qualified Contractor prior to the end of your contingency period.



Marginal Defect

Items or components that were found to include a safety hazard, or a functional or installation related deficiency. These items may have been functional at the time of inspection, but this functionality may be impaired, not ideal, and/or the defect may lead to further problems (most defects will fall into this categorization). Repairs or replacement is recommended to items categorized in this manner for optimal performance and/or to avoid future problems or adverse conditions that may occur due to the defect, prior to the end of your contingency period. Items categorized in this manner typically require repairs from a Handyman or Qualified Contractor and are not considered routine maintenance or DIY repairs.



Minor Defect, Maintenance Item, or FYI Item

This categorization will include items or components that may need minor repairs which may improve their functionality, and/or found to be in need of recurring or basic general maintenance. This categorization will also include FYI items that could include observations, important information, limitations, recommended upgrades to items, areas, or components, as well as items that were nearing, at, or past the end of their typical service life, but were in the opinion of the inspector, still functional at the time of inspection. Major repairs or replacement should be anticipated, and planned for, on any items that are designated as being past, or at the end of their typical life. These repairs or replacement costs can sometimes represent a major expense; i.e. HVAC systems, Water Heaters, Plumbing pipes, etc.

These categorizations are in my professional judgement and based on what I observed at the time of inspection. This categorization should not be construed as to mean that items designated as "Minor defects" or "Marginal Defects" do not need repairs or replacement. **The recommendations in each comment is more important than its categorization. Due to your perception, opinions, or personal experience you may feel defects belong in a different category, and you should feel free to consider the importance you believe they hold during your purchasing decision. Once again, it's the "Recommendations" in the text of the comment pertaining to each defect that is paramount, not its categorical placement.**

Asbestos (pre 1990)

Homes built prior to 1990 may contain materials that are now considered hazardous. Please visit: www.worksafebc.com to familiarize yourself with safe practices for handling these materials. Health Canada can also provide you with important information at: <https://www.canada.ca/en/health-canada/services/air-quality/indoor-air-contaminants/health-risks-asbestos.html>

Manufactured Home Registration and Addition Permits

This home is a manufactured dwelling, originally built in 1989, with visible additions at the front and side (including a pantry area), as well as an exterior deck. CSA certification stickers were observed on site, which is a good indication that the unit was constructed to required standards. However, buyers are strongly encouraged to verify that the CSA number matches the provincial registration records and that the home is properly registered with BC's Manufactured Home Registry. Additionally, confirmation should be obtained that permits were issued for the noted additions and deck structure. This due diligence should be completed prior to subject removal to ensure the home meets current regulatory and lending requirements.



2: EXTERIOR

Information

Inspection Method*

Visual, From grade

Siding Material*

Vinyl, Wood Skirting

Outdoor Structures

Deck, Awning, Covered Porch

Soffit Finishes

Perforated

Driveway Material

Asphalt

Surface Grading

Generally Flat

**Above Grade Risers or Stand
pipes Materials**

PVC

Limitations

General / Limitations

VEGETATION AROUND HOME

A wall covered with vines cannot be fully inspected. Recommend observing covered spots when access is granted after possession.

General / Limitations

ASK SELLER HISTORY PERTAINING TO PERIODS OF INTENSE RAIN

Recommend asking the seller about water problems including but not limited to water puddles in the yard, gutter or downspout problems, water penetration into the lowest level of the structure, and drainage systems. Recommend closely monitoring and inspecting the exterior during a heavy rainstorm to observe the way the surface water is managed.

General / Limitations

UNABLE TO DETERMINE SOIL CHARACTERISTICS AROUND HOME

Since the inspection is purely visual, there is no way to determine the characteristics of the soil all the way down to the footings. If the ground around the building is extremely porous (sand or gravel, for example), water will drain through sand or gravel very quickly rather than run across the surface away from the structure.

General / Limitations

DECK INSPECTION LIMITATION DUE TO OBSTRUCTIONS

The inspection of the front deck/ porch was limited by the presence of patio furniture and/or coverings, which restricted access to certain areas. This obstruction prevented a comprehensive evaluation of the deck's entire surface and underlying structure. To ensure a thorough inspection and identify any hidden issues or damage, it is recommended that the deck be cleared of these items for a follow-up assessment. This additional inspection will allow for a complete review of the deck's condition and integrity.

General / Limitations

OUTBUILDINGS, AND WOOD SHED NOT PART OF INSPECTION

Outbuildings, such as sheds or the woodshed, were not part of this inspection and were not assessed during the examination of the main property. Therefore, their condition and any potential issues remain unexamined and unreported. If you have specific concerns or interest in these structures, it is advisable to arrange a separate inspection or assessment of these outbuildings by a qualified professional.

Vegetation, Grading, Drainage & Retaining Walls (Information)

SURFACE GRADING LIMITATIONS

The grading and lot drainage performance are limited to the conditions existing at the time of the inspection only. It cannot be guaranteed of this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls or under slabs is limited to the visible conditions at the time of inspection and evidence of past problems. It is recommended to consult with the sellers as to any previous moisture intrusion into the structure and reading over the Sellers Disclosure, which should list any such issues.

Deficiencies

2.1.1 Siding, Flashing & Trim



Maintenance Item/ Aesthetic

VEGETATION IN CONTACT WITH SIDING

Vegetation was observed touching the siding on the left side of the home. This can trap moisture against the exterior surface and limit airflow, potentially accelerating wear or inviting pests. It is recommended to trim back vegetation by at least three feet upon possession to promote proper drying and help preserve the building envelope.



Vegetation touching siding

2.2.1 Decks, Balconies, Porches & Steps

 Significant Deficiency

REAR DECK SUPPORTED BY TEMPORARY FOOTINGS AND IMPROPER CONNECTIONS

The rear deck was observed to rest on temporary footings, which are not considered a permanent or structurally reliable support method. In addition, several joist hangers were missing required fasteners, and some joists were not fully seated within their hangers. The deck also appeared to rely on attachment to the manufactured home for support along one side. As noted elsewhere in this report, additions to manufactured homes must be independently supported and freestanding. Evaluation and correction by a qualified contractor is recommended prior to subject removal to ensure the deck is safe, properly supported, and compliant with appropriate construction standards.



Missing Fasteners



Floating Joist



Deck Attached to Manufactured Home



Temporary Footings

2.3.1 Exterior Doors

ROTTING NOTED AT REAR DECK ENTRY DOOR FRAME

 Marginal Defect

The exterior lower portion of the door frame at the rear deck entry—leading into the pantry addition—was observed to be significantly rotted. Deterioration of the frame can lead to reduced structural integrity, moisture intrusion, and pest entry. Hidden damage is possible. Repair or replacement of the affected section is recommended upon possession to maintain proper enclosure and prevent further damage.



Wood Rot



Back Door Frame Rotting

2.4.1 Walkways, Patios & Driveways

TRIP HAZARDS NOTED AROUND PROPERTY

A few minor trip hazards were observed around the property, including misaligned pavers and uneven walking surfaces. While not structurally significant, these conditions could pose a risk for slips or trips during regular use. Adjustments or levelling are recommended upon possession to improve safety and ease of movement around the exterior.



Significant Deficiency



Trip Hazard

3: ROOF

Information

Covering Material*

3 Tab Asphalt Shingle, Roll
Roofing, Fibre glass product on
front addition

Inspection Method*

Walked on roof

Gutter Material

Aluminum

Limitations

General / Limitations

GENERAL QUALITY AT TIME OF INSPECTION

The inspection of the roof and its covering material is limited to the conditions on the day of the inspection only. The roof covering material, visible portions of the roof structure from within the attic (if applicable), and interior ceilings, were inspected looking for indications of current or past leaks. Future conditions and inclement weather may reveal leaks that were not present at the time of inspection. Any deficiencies noted in this report with the roof covering or indications of past or present leaks should be evaluated and repaired as needed by a licensed roofing contractor.

Please refer to the seller's disclosure in reference to the roof system, age, condition, prior problems, etc. Only the property owner would have intimate, accurate knowledge of the roof system. The inspector can only estimate the age based primarily on general appearance. This report is an opinion of the general quality of the roofing materials at the time of inspection. The inspector cannot, and does not, offer a guarantee as to whether the roof has leaked in the past, leaks now, or may be subject to future leakage.

Deficiencies

3.1.1 Coverings

AGING ROOFING SYSTEMS WITH EVIDENCE OF DETERIORATION AND PREVIOUS REPAIRS



Significant Deficiency

The main roof covering appeared to consist of 3-tab asphalt shingles, with some components dated to 1993. This material is well beyond its typical life expectancy. Several deficiencies were noted, including missing and flipped shingles, exposed fasteners, discolouration, visible fiberglass matting, missing drip edge flashing and soft spots in the roof surface. Multiple repair attempts were observed, including mismatched replacement shingles and unprofessionally applied mastic applied around the skylight and protrusions—suggesting a history of leakage. The skylight has also lost its seal. Replacement of the main roof is likely required in the near term.

Additionally, the roof over the front addition was finished with roll roofing, a product with a typical lifespan of approximately five years, and the adjacent addition was surfaced with a fiberglass-based material. These coverings appeared weathered and should be monitored for deterioration and maintained regularly. A full roofing evaluation by a qualified contractor is recommended prior to subject removal to determine the remaining life and necessary repairs or replacement.



Unprofessional Mastic Patch



Previous Leak Likely]



Flipped Shingle



Missing Shingle



Soft Spots throughout



Different Product Indicating Possible Previous Leaks

3.2.1 Roof Drainage Systems

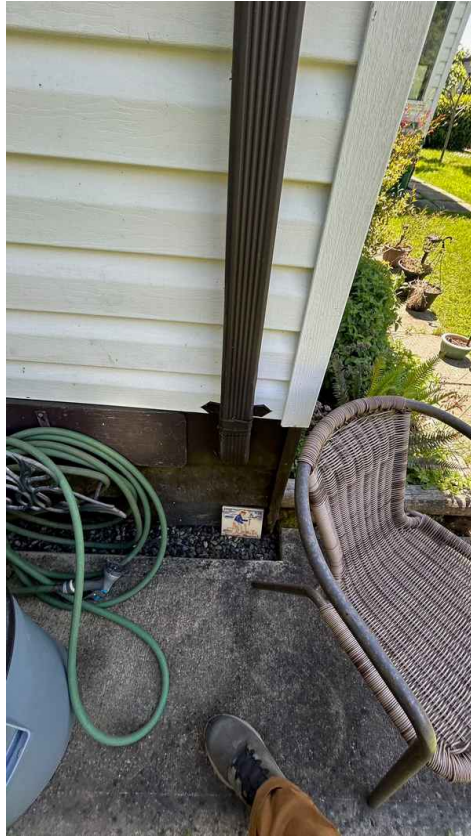
IMPROPER DOWNSPOUT DRAINAGE AND WATER ENTRY INTO CRAWLSPACE

 Marginal Defect

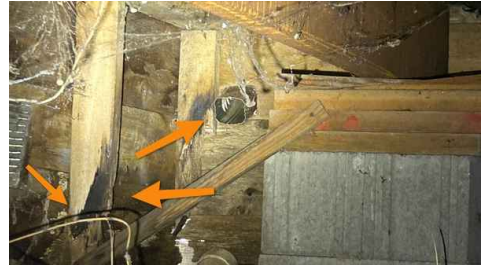
Several downspouts around the property were observed to discharge water too close to the home's foundation. Of particular concern, one rear downspout was misaligned with the gutter above and extended directly into the crawlspace. Inside, the downspout was not connected to a drainage system, allowing roof runoff to discharge freely beneath the home. This has contributed to visible moisture damage, including deterioration of the skirting in the affected area. Although a drainage pipe was previously installed to manage this water, it has since disconnected. Reconnection or redirection of this system is recommended prior to subject removal to prevent ongoing moisture intrusion and further deterioration.



Misaligned Downspout



Downspout Entering Crawlspace



Downspout Draining into Crawl.
Rotting Skirting



Unattached PVC



Extend Downspouts Away From home



Downspout Draining too close to home

3.4.1 Skylights, Chimneys & Other Roof Penetrations

SIGNS OF PREVIOUS LEAK AT HALLWAY BATHROOM SKYLIGHT

 Significant Deficiency

Staining was observed around the skylight in the hallway bathroom, indicating a previous leak. This appears to correlate with an amateur roof patch visible at the skylight's exterior. The area tested dry at the time of inspection, suggesting no active leakage; however, the extent of any hidden damage within the ceiling cavity could not be confirmed. Further review is recommended upon possession to monitor for recurrence and assess whether repairs are needed.



4: STRUCTURE & FOUNDATION

Information

Foundation Material*

Concrete Blocks, Wood Cribbing,
Metal Manufactured Frame

Exterior Wall Construction*

Inaccessible

Floor Construction*

Inaccessible

Roof and Ceiling framing*

Vaulted, Inaccessible

Inspection Method*

Visual

Configuration

Crawlspace

**Method used to Inspect
Crawlspace**

Entered Crawlspace

Basement/Crawlspace Floor

Dirt

Limitations

General / Limitations

INSPECTION LIMITED/ PREVENTED BY

Ceiling Coverings, Floor Coverings, Wall Coverings, Insulation, Storage

General / Limitations

ATTIC/ ROOF SPACE

N/A

Deficiencies

4.1.1 Foundation

**ADDITIONS AND AWNINGS IMPROPERLY ATTACHED TO
MANUFACTURED HOME**

Significant Deficiency

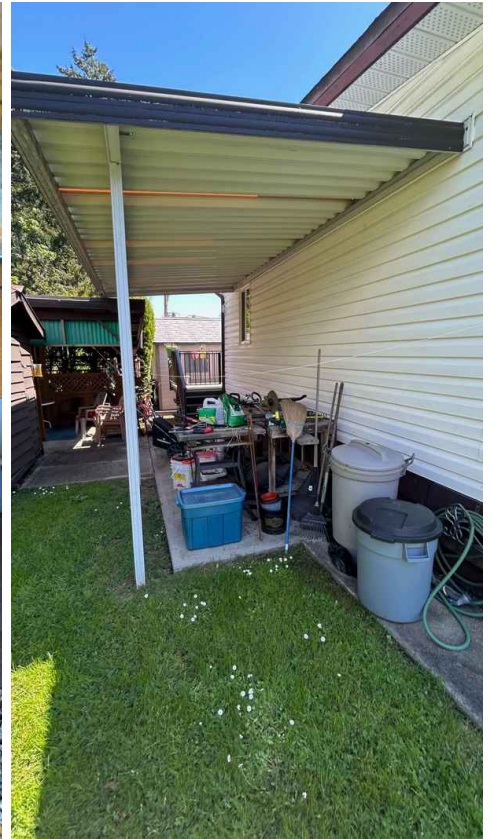
Several additions and exterior structures—including the front porch, shade awnings, and a rear deck—appeared to be physically attached to the manufactured home. Manufactured homes are not designed to support any load-bearing attachments, and such connections can place undue stress on the frame, potentially compromising its structural integrity. These structures should be independently supported and free-standing. Evaluation by a qualified structural professional is strongly recommended prior to subject removal to assess the appropriateness and safety of these attachments. Observed at the front and rear exterior of the home.



Awning not free standing



Deck using home for support



Awning not free standing

4.5.1 Basements & Crawlspaces

DAMAGED BELLY WRAP, EXPOSED INSULATION, AND VAPOUR BARRIER DEFICIENCIES IN CRAWLSPACE

 Significant Deficiency

Multiple rips and tears were noted in the belly wrap beneath the home, with areas of exposed, displaced, and shredded insulation—likely due to rodent activity. Additionally, the vapour barrier on the dirt crawlspace floor was incomplete or missing in sections. These conditions reduce the effectiveness of thermal insulation, allow moisture to migrate into the building envelope, and create opportunities for further pest intrusion or deterioration of materials. The belly wrap should be fully sealed and insulation properly restored to maintain energy efficiency and moisture control.

Structural supports beneath the home—including concrete blocks and wood cribs—were generally in fair condition; however, one crib appeared to be slightly leaning, and another showed a concrete block not in full contact with its shim, suggesting minor settling or misalignment. While not of immediate concern, these should be monitored. The exterior additions appear to contribute more significantly to structural stress, as noted elsewhere in the report. Obtain quote prior to subject removal to assess and address the damaged belly wrap, insulation, and vapour barrier.



Insulation Shredded



Exposed Belly/ Torn insulation



Torn Belly



Incomplete vapor barrier



Beam not touching shim

5: PLUMBING

Information

Supply Piping Material

Polyethylene

Drain Waste and Vent Piping Material

ABS, Metal

Distribution Piping Material

Pex, Copper, Polybutylene

Location of Hot water tank

Rear Bedroom/ entertainment room

Water Heater Fuel Source/Type

Electric

Age of water heater(s)

Unable to Determine due to Enclosed & Inaccessible Panel

Location of Main Water Shut off + Main Gas Shut-off Location Photo

Crawlspace

The valve is not operated to test its functionality.

Location of Sump pump

N/A



Main Water Shut Off

Limitations

General / Limitations

ITEMS EXCLUDED FROM INSPECTION

performance of floor drains, Concealed plumbing, Isolating/relief valves & main shut-off valve, Tub/sink overflows, Washing Machines/ Appliances

General / Limitations

SCOPE OF FIXTURES

Water is flowed for approximately 60 seconds at sinks and shower drains during inspection. Please note that this will not confirm the absence of blockages downstream, beyond the immediate fixtures tested. Subgrade sanitary piping is not visible and therefor is beyond the scope of this inspection.

General / Limitations

SUPPLY SOURCE NOT DETERMINED

The source of the water supply is not determined as per the scope.

Deficiencies

5.1.1 Main Water Shut-off

PRESSURE REDUCING VALVE NOT VISIBLE



Marginal Defect

No pressure reducing valve (PRV) visible - We advise to hire a plumbing contractor to add a PRV to protect fixtures, faucets and appliances from excess water pressure, which may shorten the life of fixtures, appliances, and increase the risk of leaks. Time frame: upon possession.



No PRV visible

5.3.1 Distribution Systems & Fixtures

POLYBUTYLENE SUPPLY PIPING OBSERVED THROUGHOUT



Significant Deficiency

Polybutylene (Poly-B) supply piping was observed at the main water line where it transitions from polyethylene, as well as at the main water shut-off, hot water tank, and various fixtures throughout the home. Poly-B is a flexible grey plastic piping with a known history of premature failure, and its presence can impact home insurability. Although no active leaks were noted at the time of inspection, many insurers may require replacement due to the material's reputation for reliability concerns. Obtain quote prior to subject removal to understand the potential cost of replacement and discuss implications with your insurance provider.



Poly B



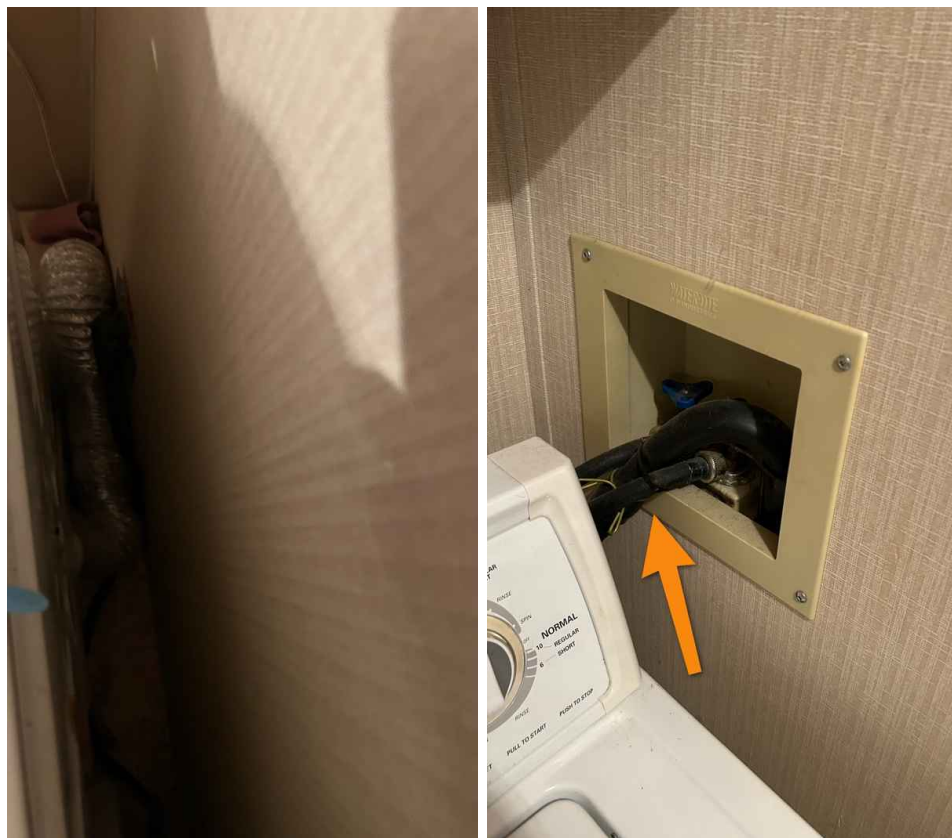
Poly B



Poly B

LAUNDRY HOOKUPS: HOSE UPGRADE AND DRYER VENT MAINTENANCE

The washing machine was connected using standard plastic supply hoses. For improved durability and leak prevention, upgrading to steel braided hoses is recommended. Additionally, the dryer vent material should be checked to ensure it is not crushed or obstructed and is free of lint buildup to reduce the risk of reduced airflow or fire hazard. These are simple maintenance items that can be addressed upon possession.



Slightly crushed dryer vent, clean yearly Replace hoses with steel braided

FLEXIBLE SHOWER INSERTS AND INCOMPLETE SEALING

Both shower/bath inserts were noted to have flexible wall panels with no apparent solid backing, suggesting a potentially substandard or lightweight installation. While functional at the time of inspection, the lack of rigidity may reduce long-term durability and resistance to water intrusion. In addition, several seams and fastener points around the inserts would benefit from caulking or resealing to prevent moisture entry behind the panels. Sealing and reinforcement, if necessary, are recommended upon possession to protect against potential water damage.



Material was flexible/ flimsy



Seal seams and fastners

5.4.1 Hot Water Systems

AGED HOT WATER TANK WITH LIMITED ACCESS AND POLYBUTYLENE SUPPLY



Significant Deficiency

The hot water tank was located behind a panel that was not readily accessible, with only a partial view available behind the electrical panel. Based on visible components and general appearance, the tank appears to be older and likely beyond its expected service life. It was also missing seismic strapping, which is recommended for safety in regions with seismic activity. Additionally, polybutylene piping was observed supplying the unit. Due to the limited visibility and presence of aging components and Poly-B, obtain quote prior to subject removal for replacement and further evaluation by a licensed plumbing professional.



Poly B to HWT

6: ELECTRICAL

Information

Service Size (amperage) * 200 amps, 120/240V	Main Panel/ Main disconnect Location * Rear Entertainment Room	Distribution Wire Material and Type * Copper - non-metallic sheathed
Circuit Interrupters GFCI(ground fault) /AFCI (arc fault) * GFCI's Present, AFCI's Present	Smoke and Carbon Monoxide Detectors * Smoke alarms present (not tested)	Room For Additional Breakers in Panel? Yes
Service Entrance and Location Below Ground	Panel Type Circuit Breaker	

Limitations

General / Limitations

INSPECTION LIMITED/ PREVENTED BY

Power was off in some areas, AFCIs (Arc Fault Circuit Interrupters) are not tested in a home that is occupied or where testing may cause damage. These should be tested monthly by the homeowner.

General / Limitations

CIRCUIT LABELS

The accuracy of the circuit index (panel labels) was not verified


General / Limitations

SYSTEM GROUND

Quality of ground not determined

Deficiencies

6.2.1 Branch Wiring Circuits, Breakers & Fuses and Distribution

 Significant Deficiency

IMPROPER ELECTRICAL CONDUCTORS USED ON EXTERIOR

Electrical conductors intended for interior use were observed running beneath the rear deck and along the exterior of the home. These cables do not appear to be rated for outdoor conditions and were not adequately protected from physical damage or moisture exposure. When interior-rated wiring is used outside, it is more susceptible to deterioration, which can increase the risk of electrical shock or failure. A licensed electrician should be consulted to assess and correct the installation. Obtain quote prior to subject removal.



Conductors used outside must be rated for exterior

6.3.1 Smoke and Carbon Monoxide Detectors

 Significant Deficiency

SMOKE AND CARBON MONOXIDE DETECTORS

It is important to note that smoke detectors should be installed in each room and living space, as well as carbon monoxide detectors on every floor and near appliances that emit CO. These detectors can help ensure the safety of occupants by providing early warning in case of fire or the presence of dangerous levels of carbon monoxide. It is recommended to test these detectors regularly and replace batteries as needed to ensure they are functioning properly. This is a life safety issue.



Place in all sleeping rooms and test monthly

6.4.1 Fixtures, Switches & Receptacles

 Maintenance Item/ Aesthetic

EXTERIOR OUTLETS NOT FUNCTIONING AT TIME OF INSPECTION

The exterior electrical outlets were tested and found to have no power at the time of inspection. The cause of the issue could not be determined, and it is unclear whether the outlets are disconnected, switched off, or require repair. Further investigation by a qualified electrician is recommended upon possession to restore proper function and ensure safe operation.

6.4.2 Fixtures, Switches & Receptacles

 Maintenance Item/ Aesthetic

LOOSE LIGHT SWITCHES IN ENTRYWAY

Light switches located in the entryway to the main living area were observed to be loose within their electrical boxes. Loose switches can lead to wear on wiring connections over time, increasing the risk of malfunction or shock. It is recommended to have the switches properly secured upon possession to ensure safe and reliable operation.



Loose switch

6.4.3 Fixtures, Switches & Receptacles

 Marginal Defect

KITCHEN OUTLETS NOT GFCI PROTECTED

The electrical outlets in the kitchen did not appear to be GFCI (Ground Fault Circuit Interrupter) protected at the time of inspection. GFCI protection helps reduce the risk of electrical shock in areas where water is present, such as kitchens and bathrooms. Upgrading these outlets for improved safety is recommended upon possession.



Kitchen outlet not GFCI protected

7: INTERIOR

Information

Window Construction*

Vinyl, Sliders, Fixed Glazing

Major Floor Finishes*

Carpet, Linoleum, Vinyl

Major Wall Finishes

Paneling, Drywall, Wood

Major Ceiling Finishes*

Plaster/drywall

Door Material/Type

Hollow-Core, Wood, Hinged

Window Glazing

Double Glazed

Limitations

General / Limitations

COSMETIC DEFICIENCIES

Cosmetic damage and/or deficiencies to wall, floor, and/or ceiling surfaces were present in area(s) of the home. If these areas are of concern, appropriate tradespeople should be contacted for repairs as needed. Cosmetic deficiencies are not included in a home inspection, and if any reference(s) are present, these should be viewed as a courtesy and not a listing of every occurrence present.

General / Limitations

ACCESSIBILITY LIMITATIONS DUE TO OCCUPANCY AND STORAGE

The home was occupied at the time of inspection, and personal belongings and storage in various areas limited full access to some components and surfaces. While every effort was made to conduct a thorough assessment, certain areas may not have been fully visible. Further review of concealed or obstructed areas is recommended upon possession to ensure a complete understanding of the home's condition.

Deficiencies

7.1.1 Doors



Maintenance Item/ Aesthetic

MISSING DOOR AT ENTERTAINMENT ROOM

The door to the entertainment room was missing at the time of inspection and appeared to have been removed from its hinges. While this may have been intentional for space or access, reinstalling the door may be desired for privacy or functionality. Replacement or reinstallation can be addressed upon possession.

7.2.1 Windows



Marginal Defect

AGING WINDOWS THROUGHOUT THE HOME

The vinyl windows were dated 2001, making them approximately 24 years old. All windows were functional at the time of inspection; however, windows of this age may gradually lose thermal efficiency, develop air leakage, or experience hardware wear over time. While replacement is not immediately necessary, it may be considered in the future for comfort or energy efficiency. That said, window replacement is a significant investment and may not offer a quick return in energy savings alone. This note is provided at the buyer's discretion as a general heads-up regarding window age.



Missing Lock



7.8.1 Health and Environment

SIGNS OF PEST AND RODENT ACTIVITY

 Significant Deficiency

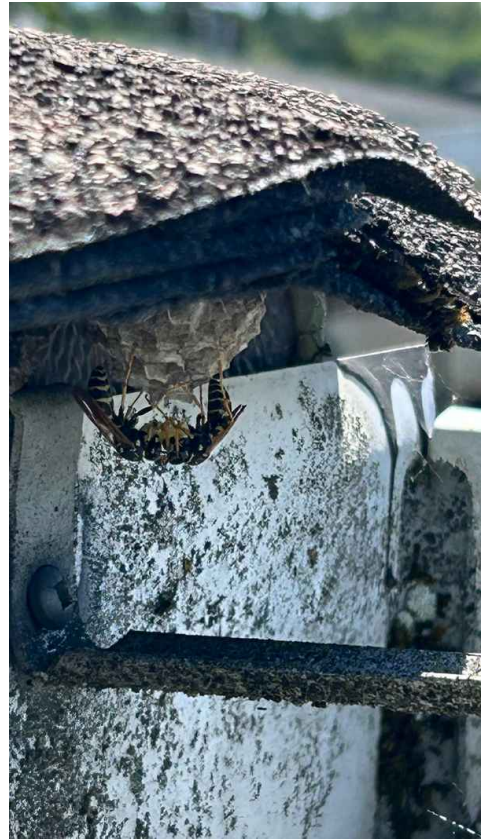
Small inactive wasp nests were observed in a few areas around the exterior of the home. Additionally, rodent droppings were noted inside the hot water tank enclosure, and widespread signs of rodent activity—including droppings and disturbed insulation—were present throughout the crawlspace. These conditions suggest a history of pest presence, and further evaluation and treatment by a licensed pest control professional is recommended upon possession to ensure the home is secure and sanitary.



Droppings in interior



Traps and droppings in crawspace



Wasp Nest

7.8.2 Health and Environment

STOVE ELEMENT INDICATOR LIGHT REMAINED ON

As a courtesy observation beyond the scope of a standard home inspection, the stove was noted to have an element indicator light that remained on, suggesting one of the elements may have been active or malfunctioning. One element appeared to be removed or disconnected, which could be contributing to the issue. While the stove was not tested for full function, this may indicate a minor electrical fault within the appliance. Further evaluation or servicing by an appliance technician is recommended upon possession.



Maintenance Item/ Aesthetic

8: HEATING VENTILATION AND COOLING (HVAC) SYSTEMS

Information

System Type

Electric Baseboard, Electric Furnace

Heat System Energy Source

Electric

Combustion Air Source

N/A

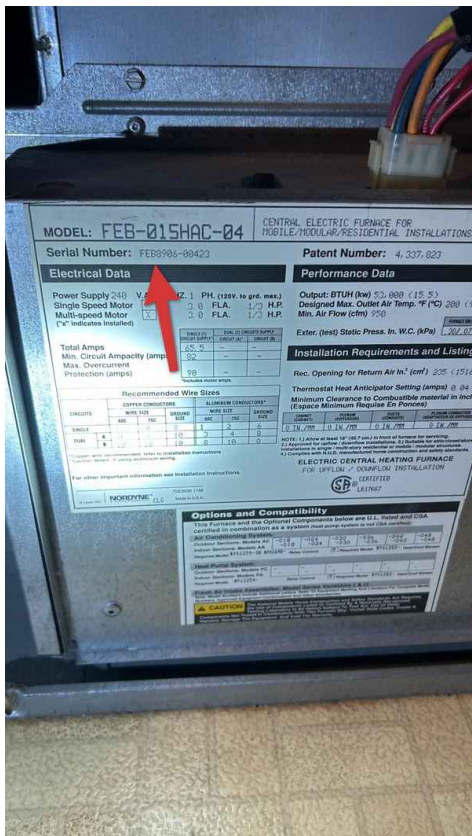
Deficiencies

8.1.1 Equipment

AGED ELECTRIC FURNACE WITH IMPROPER VENTING AND POOR MAINTENANCE



The electric furnace appeared to be original to the home, dating back to 1989, and has exceeded its typical service life. While the blower and heating function responded when the thermostat was triggered, the unit was in poor overall condition. The furnace and blower compartment were heavily soiled, the air filter was extremely dirty, and the exterior intake vent was constructed from an inappropriate material not intended for HVAC use. Additionally, the furnace access panels were secured with duct tape, indicating past difficulties in accessing or securing the unit properly. These conditions raise concerns about air quality, efficiency, and long-term reliability. Obtain quote prior to subject removal for servicing or replacement, and consult an HVAC professional to assess safe operation and proper ventilation.



Data plate (Feb 89')



Improper venting material, Very dusty components and filter

8.1.2 Equipment

NO DEDICATED HEAT SOURCE IN REAR PANTRY ADDITION



Maintenance Item/ Aesthetic

The rear pantry addition, located beside the laundry room, did not appear to have a dedicated heat source at the time of inspection. While this may not be a concern for storage use, unheated spaces can be more susceptible to moisture and temperature fluctuations. If the space is to be used regularly or for conditioned storage, consider evaluating options for supplemental heating. This item may be addressed at the buyer's discretion.

9: UNFINISHED SPACE INSULATION & HOME VENTILATION

Information

Type of insulation and vapour barriers in unfinished spaces * Fiberglass batt, Woven Polyethylene (belly wrap)	Insulation Type/ Material(s) Batt	Attic Intake Ventilation Method Gable Vents, Soffit Vents
Attic Exhaust Ventilation Method Gable Vents	House Mechanical Ventilation System Fan in Laundry room with Humidistat	Bathroom Exhaust Fans Vented to Exterior
Kitchen Exhaust Fans Vented to Exterior		